

# NEPENTHE ASSOCIATION

Open Session

Nepenthe Clubhouse  
July 2 2025 – 6:00 PM





# NEPENTHE ASSOCIATION

## Open Session

July 2, 2025 6:00 PM  
Nepenthe Clubhouse  
1131 Commons Drive  
Sacramento, CA

### BOARD OF DIRECTORS MEETING - OPEN SESSION AGENDA

*The following items may be addressed in Executive Session in accordance with California Civil Code 4935(a):*

- *Litigation*
- *Matters relating to formation of contract with third parties*
- *Member Discipline*
- *Personnel matters*

## I. CALL TO ORDER

### MEETING PLACE:

1131 Commons Drive, Sacramento, CA 95825

OR

Join Zoom Meeting

<https://us02web.zoom.us/j/88272111861?pwd=aW5pSXZtZXZnNW1lNlBVbE9Qd2pIZz09>

Meeting ID: 882 7211 1861

Passcode: 001131

OR Dial in

+1 669 900 6833

**WELCOME:** Thank you for attending. This is a business meeting, open to members of the Nepenthe Association and guests of the Board. The Nepenthe Board of Directors is a policy Board, and the role of the General Manager is to oversee the day-to-day operations. The primary purpose of the meeting is to ensure that the Association is meeting its responsibility to provide oversight, maintain the value of the property and to serve homeowners.

### PRESIDENT'S MESSAGE

**ANNOUNCEMENTS FROM THE BOARD:** The Directors will use this time to provide updates and information.

## II. EXECUTIVE SESSION ACKNOWLEDGEMENT/ANNOUNCEMENT

### Background

In accordance with Civil Code Section 4935(a) the Board met in Executive Session on July 2, 2025 to consider litigation, matters relating to the formation of contracts with third parties, member discipline, personnel matters, or to meet with a member, upon the member's request, regarding the member's payment of assessments, as specified in Civil Code.

**The Board took the following actions during the July 2nd meeting:**

**III. REPORTS**

**A. GENERAL MANAGER'S REPORT**

Nicole Marks, General Manager, has submitted the enclosed work order report for June 2025 (Open Work Orders as of 06.26.25) and will provide the Management Report verbally.

**Supporting Documents**

 [\*Open Work Orders as of 06.26.25.pdf\*](#) ..... 8

**B. CONSTRUCTION MANAGER'S REPORT**

Construction Manager Paul Reeves' written report is enclosed in the materials for this meeting.

**Supporting Documents**

 [\*Nepenthe MR June 2025 Revised..pdf\*](#) ..... 32

 [\*Nepenthe 2 CO Log 6.25.25.pdf\*](#) ..... 54

**IV. COMMITTEE UPDATES**

**A. ARCHITECTURAL COMMITTEE**

This item serves as a placeholder for the Board to receive, review and discuss any report or update from the Architectural Committee.

Attached is a volunteer application received for the Architecture Committee:

- Jane Brown

**Proposed Resolution**

The Board affirms the committee's recommendations below:

| Address            | Modification                    | Recommendation                                                                                                                                                                                                                                         |
|--------------------|---------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1077<br>Vanderbilt | Patio hardscape<br>replacement  | Approval                                                                                                                                                                                                                                               |
| 1003<br>Dunbarton  | Patio hardscape<br>installation | Approval                                                                                                                                                                                                                                               |
| 804 Elmhurst       | Patio hardscape<br>installation | Approval                                                                                                                                                                                                                                               |
| 804 Elmhurst       | Shade structure                 | Approval                                                                                                                                                                                                                                               |
| 1170<br>Vanderbilt | Shade sail                      | Approval with Conditions: The east<br>end affixed to the residence will have<br>the attachment bolts relocated as<br>described and that the four bolts in<br>use and the two remaining holes will<br>be sealed against water intrusion                 |
| 2 Adelphi          | HVAC system<br>replacement      | Emergency Approval                                                                                                                                                                                                                                     |
| 1371<br>Commons    | HVAC system<br>replacement      | Emergency Approval                                                                                                                                                                                                                                     |
| 708<br>Dunbarton   | HVAC system<br>replacement      | Emergency Approval with Conditions:<br>The homeowner see that the new<br>wiring in conduit to power the heat<br>strips be installed inside the exterior<br>wall and use Nepenthe's own siding<br>contractor to remove and replace the<br>siding panels |

|                 |                  |                                           |
|-----------------|------------------|-------------------------------------------|
| 1111<br>Commons | HVAC replacement | Expired - Not Recommended for<br>Approval |
|-----------------|------------------|-------------------------------------------|

**Supporting Documents**

[2025-06-05 ARC Minutes.docx](#) ..... 65

[Committee Application - Jane Brown - Arch.pdf](#) ..... 70

**B. OUTREACH COMMITTEE**

This item serves as a placeholder for the Board to receive, review and discuss any report or update from the Outreach Committee.

Attached is a volunteer application received for the Outreach Committee:

- Maggie Ward

**Supporting Documents**

[Committee App - Maggie Ward - Grounds and Outreach.pdf](#) ..... 72

**C. ILS COMMITTEE**

This item serves as a placeholder for the Board to receive, review and discuss any report or update from the ILS Committee.

Attached are volunteer applications received for the ILS Committee:

- Roy Hui
- Nancy Arndorfer

**Supporting Documents**

[ILS Committee Meeting minutes 6-8-2025.docx](#) ..... 74

[Committee Application - Roy Hui - ILS.pdf](#) ..... 76

[Committee Application - Nancy Arndorfer - ILS.pdf](#) ..... 78

**D. GROUNDS COMMITTEE**

This item serves as a placeholder for the Board to receive, review and discuss any report or update from the Grounds Committee.

Attached is a volunteer application received for the Architecture Committee:

- Jim Shaw
- Maggie Ward

**Supporting Documents**

[FINAL June 19 Grounds Committee Meeting Minutes .p.pdf](#) ..... 80

[Committee Application - Jim Shaw - Grounds.pdf](#) ..... 86

[Committee App - Maggie Ward - Grounds and Outreach.pdf](#) ..... 88

**E. FINANCE COMMITTEE**

This item serves as a placeholder for the Board to receive, review and discuss any report or update from the Finance Committee.

Attached is a volunteer application received for the Finance Committee:

- Ashley Tangeraas

**Supporting Documents**

[Committee Application - Ashley Tangeraas - Finance.pdf](#) ..... 90

## V. HOMEOWNER CORRESPONDENCE

### A. HOMEOWNER CORRESPONDENCE - 07.02.25

Attached for Board review is correspondence from the Membership to provide comments/feedback.

#### Supporting Documents

[!\[\]\(ea44e77123c2b1e5d497dbffb1cb296a\_img.jpg\) Nancy Cochrane - Letter to the Board.docx](#) ..... 96

[!\[\]\(4850463fb01fac94b80f5fe6a7e04a9b\_img.jpg\) Barbara Beddow - Letter to the Board.pdf](#) ..... 100

### B. HOMEOWNER COMMENT/CORRESPONDENCE FOLLOW UP - 06.04.25

To promote good communication with homeowners, the Board has made note of the comments and correspondence from the last open sessions and prepared follow up answers and action items. Directors to discuss and determine whether further agenda items are called for.

#### Supporting Documents

[!\[\]\(a81976b25ab53c2a53b9362f52b8c286\_img.jpg\) FNL JUNE 2025 HO Meeting Response .docx](#) ..... 102

## VI. CONSENT CALENDAR

### Background

In an effort to expedite the board meetings, Management has placed several business items on a Consent Calendar. Please review the items prior to the meeting so that you may have your questions answered in advance.

### Proposed Resolution

The Board approves Consent Calendar Items A-C as presented.

#### ► Action Required: Board Review & Resolution

### A. OPEN SESSION MINUTES - JUNE 4, 2025

### Proposed Resolution

The Board approves the Open Session Minutes dated June 4, 2025 as presented.

### Supporting Documents

[!\[\]\(2b3753619c6585b32f265520a8a77a99\_img.jpg\) OpenSession\\_06042025\\_Minutes.pdf](#) ..... 108

#### ► Action Required: Board Review & Resolution

### B. FINANCIAL STATEMENT - MAY 2025

### Proposed Resolution

The Board accepts the Association's income statement for May 2025 comparing actual results to budget, reserve statement, bank statements and reconciliations, check history report and general ledger as presented, subject to an annual audit. The report reflects a year-to-date net operating income of \$175,322.14 and year-to-date reserve funding of \$923,266 compared to the year-to-date reserve funding budget of \$867,400. The actual year-to-date operating expenses were \$1,102,467.85. The budgeted year-to-date operating expenses were \$1,217,350. The association has \$271,928.94 in operating funds, which represents 0.65 months of budgeted expenses and reserve contributions. The association has \$7,759,148.10 in reserve funds.

### Supporting Documents

[!\[\]\(b1f78d5dd8d6c6f176668de0cdd59c1a\_img.jpg\) NEP 05-25 FINANCIAL.pdf](#) ..... 113

### C. RECORD LIEN RESOLUTION

## Background

**WHEREAS**, Section 5673 of the California Civil Code requires that, the decision to record a lien for delinquent assessments shall be made only by the Board of Directors of the association and may not be delegated to an agent of the association; and

**WHEREAS**, Section 5660 of the California Civil Code requires that a warning letter be sent by certified mail to the owner of record at least 30 days prior to recording a lien; and

**WHEREAS**, the Association has sent this letter, and the 30 days has or will soon expire; and

**WHEREAS**, as of the date of this report payment has not been received to pay the delinquent assessment amount on the properties listed below.

## Proposed Resolution

**NOW THEREFORE BE IT RESOLVED** that the Board of Directors approves by a majority vote of the board members present at a duly called open meeting for FirstService Residential to record a lien on the separate interests/accounts listed below on behalf of the association and to mail a copy of the recorded lien to all known owners and addresses once the 30 days has elapsed from the mailing of the warning letter and no payment has been received.

| Date    | Account No. | Total Amount Due | Approved | Denied |
|---------|-------------|------------------|----------|--------|
| 6/16/25 | 2356-01     | \$4,324.30       |          |        |

► **Action Required:** Board Review & Resolution

## VII. NEW BUSINESS

### A. CRIME MAP IN NEWSLETTER

This agenda item is to discuss the Sacramento crime map inclusion in the monthly newsletter, an example of the crime map is included.

## Supporting Documents

📎 [Crime Map.jpg](#) ..... 125

► **Action Required:** Board Review & Resolution

### B. CC&R REVISION

## Background

This agenda item is to discuss the revision of the CC&R section 10.8 as it pertains to the insurance deductible for the Association.

### C. REVISED GUIDELINES AND COMMUNITY RULES

## Background

With the help of the Architectural Committee, the following rules/applications have been revised:

1. Community Rules
2. Rules for Home Improvement
3. Home Improvement Application
4. Notice of Completion
5. HVAC Application Questionnaire
6. Satellite/Antenna/Cable Installation Letter
7. Window Slider Replacement Questionnaire
8. Improvements Needing Permission

The Board approved the above listed documents during the May Open Session Board Meeting. The documents were then sent out to residents via individual delivery for the 28-day member comment period.

**Proposed Resolution**

The Board approves to adopt the following documents:

- 1. Community Rules
- 2. Rules for Home Improvement
- 3. Home Improvement Application
- 4. Notice of Completion
- 5. HVAC Application Questionnaire
- 6. Satellite/Antenna/Cable Installation Letter
- 7. Window Slider Replacement Questionnaire
- 8. Improvements Needing Permission

**Supporting Documents**

 [1. 2025 Community Rules - April 2025.pdf](#) ..... 127

 [2. Rules for Home Improvement - April 2025.pdf](#) ..... 156

 [3. Home Improvement Application - April 2025.pdf](#) ..... 192

 [4. Notice of Completion - April 2025.pdf](#) ..... 195

 [5. HVAC Application Questionnaire - April 2025.pdf](#) ..... 197

 [6. Satellite-Antenna-Cable Installation Letter - A.pdf](#) ..... 200

 [7. Window-Slider Replacement Supplemental Question.pdf](#) ..... 204

 [8. Improvements Needing Permission - April 2025.pdf](#) ..... 207

► **Action Required:** Board Review & Resolution

**VIII. HOMEOWNER FORUM**

In accordance with California Civil Code 4920(a), the Association must post or distribute the agenda for Regular Session Meetings no fewer than four (4) days prior to a Regular Session Meeting. During Homeowner Forum, items not included on the agenda that are raised by homeowners may be briefly responded to by the Board/Management; however, no action may occur with respect to that item unless it is deemed an emergency by the Board of Directors and developed after the agenda was posted and/or distributed. The Board of Directors may refer informational matters and direct administrative tasks to Management and/or contractors. Each homeowner will be given three (3) to five (5) minutes to speak in accordance with the Open Meeting Act, California Civil Code 4920(a), or a total of twenty (20) minutes will be granted for all to address the Board of Directors regarding items of interest or concern.

**IX. NEXT BOARD MEETING**

The Association’s next open Board meeting will be held August 6, 2025, at 6:00 pm.

**X. ADJOURN**

## **Open Work Orders as of 06.26.25.pdf**



## Work Orders

### Nepenthe Association

|                                                                                                                                                                                     |                        |                       |                                                  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-----------------------|--------------------------------------------------|
| <b>WO#:</b> 1292328                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 1433 Commons Dr                                                                                                                                            |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/26/2025                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> Carson - Homeowner reporting the walkway to 1433 Commons irrigation needs repairs.                                                                              |                        |                       |                                                  |
| <b>WO#:</b> 1292325                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 603 Elmhurst Cir                                                                                                                                           |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/26/2025                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> Please see attached for the signed proposal not to exceed \$135 for the following scope of work: Zone 5, Station #63 - Repair 1 broken netafim line             |                        |                       |                                                  |
| <b>WO#:</b> 1292323                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 1428 Commons Dr                                                                                                                                            |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/26/2025                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$385 for the following scope of work: Zone 5, Station #92 - Repair 1 broken lateral line behind the tree |                        |                       |                                                  |
| <b>WO#:</b> 1292310                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 1221 Vanderbilt Way                                                                                                                                        |                        | <b>Category:</b>      | Roof                                             |
| <b>Date Created:</b> 06/26/2025                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | ADVANCED ROOF DESIGN<br>INC                      |
| <b>Schedule Completion Date:</b>                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> Advance Roof, There are some damaged shingles. See photos. Thanks.                                                                                              |                        |                       |                                                  |
| <b>WO#:</b> 1292232                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 710 Dunbarton Cir                                                                                                                                          |                        | <b>Category:</b>      | Landscape Request                                |
| <b>Date Created:</b> 06/25/2025                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds<br>Committee                    |
| <b>Schedule Completion Date:</b>                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> Grounds Committee - "Put a tree behind mailboxes at 710 Dunbarton.. The Camilla plants burn from the sun."                                                      |                        |                       |                                                  |
| <b>WO#:</b> 1292230                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 1012 Dunbarton Cir                                                                                                                                         |                        | <b>Category:</b>      | Irrigation                                       |



## Work Orders Nepenthe Association

## Work Orders Nepenthe Association

|                                                                                                     |                        |                       |                                                  |
|-----------------------------------------------------------------------------------------------------|------------------------|-----------------------|--------------------------------------------------|
| <b>Date Created:</b> 06/25/2025                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                    |                        |                       |                                                  |
| <b>Description:</b> Carson - Broken irrigation line.                                                |                        |                       |                                                  |
| <b>WO#:</b> 1292228                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 2245 Swarthmore Dr                                                         |                        | <b>Category:</b>      | Sprinkler(s)                                     |
| <b>Date Created:</b> 06/25/2025                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                    |                        |                       |                                                  |
| <b>Description:</b> Carson - Broken sprinkler in front address.                                     |                        |                       |                                                  |
| <b>WO#:</b> 1292221                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> Clubhouse                                                                  |                        | <b>Category:</b>      | Handyman                                         |
| <b>Date Created:</b> 06/25/2025                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | ELITE Service Experts                            |
| <b>Schedule Completion Date:</b>                                                                    |                        |                       |                                                  |
| <b>Description:</b> Elite - Power wash under the shower and the stairs.                             |                        |                       |                                                  |
| <b>WO#:</b> 1292178                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Received                                         |
| <b>Unit/Common Area:</b> 1053 Commons Dr                                                            |                        | <b>Category:</b>      | Clean-up                                         |
| <b>Date Created:</b> 06/25/2025                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                    |                        |                       |                                                  |
| <b>Description:</b> The Grove - Fallen tree branch in front of 1053 Commons Drive. Clean-up needed. |                        |                       |                                                  |
| <b>WO#:</b> 1292169                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 816 Elmhurst Cir                                                           |                        | <b>Category:</b>      | Door Bell                                        |
| <b>Date Created:</b> 06/25/2025                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path<br>Reconstruction Inc              |
| <b>Schedule Completion Date:</b>                                                                    |                        |                       |                                                  |
| <b>Description:</b> CPR - Door bell was functioning until after siding repairs.                     |                        |                       |                                                  |
| <b>WO#:</b> 1292156                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 1396 Commons Dr                                                            |                        | <b>Category:</b>      | Dry Rot                                          |
| <b>Date Created:</b> 06/25/2025                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path<br>Reconstruction Inc              |
| <b>Schedule Completion Date:</b>                                                                    |                        |                       |                                                  |
| <b>Description:</b> CPR - Dry rot repair, kitchen window trim.                                      |                        |                       |                                                  |
| <b>WO#:</b> 1291988                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |

## Work Orders Nepenthe Association

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|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-----------------------|----------------------------------|
| <b>Unit/Common Area:</b> 2310 Swarthmore Dr                                                                                                                                     |                        | <b>Category:</b>      | Gate - Back Gate                 |
| <b>Date Created:</b> 06/24/2025                                                                                                                                                 | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path Reconstruction Inc |
| <b>Schedule Completion Date:</b>                                                                                                                                                |                        |                       |                                  |
| <b>Description:</b> CPR - "Latch on front gate does not meet all the way, cannot properly lock."                                                                                |                        |                       |                                  |
| <b>WO#:</b> 1291926                                                                                                                                                             | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                     |
| <b>Unit/Common Area:</b> 1653 University Ave                                                                                                                                    |                        | <b>Category:</b>      | Other                            |
| <b>Date Created:</b> 06/24/2025                                                                                                                                                 | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path Reconstruction Inc |
| <b>Schedule Completion Date:</b>                                                                                                                                                |                        |                       |                                  |
| <b>Description:</b> CPR - Please inspect the unit for damage after a tree limb fell near address.                                                                               |                        |                       |                                  |
| <b>WO#:</b> 1291885                                                                                                                                                             | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                     |
| <b>Unit/Common Area:</b> 1653 University Ave                                                                                                                                    |                        | <b>Category:</b>      | Clean-up                         |
| <b>Date Created:</b> 06/24/2025                                                                                                                                                 | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE CARE        |
| <b>Schedule Completion Date:</b>                                                                                                                                                |                        |                       |                                  |
| <b>Description:</b> The Grove - Tree limb fallen near 1653 University. Clean up needed.                                                                                         |                        |                       |                                  |
| <b>WO#:</b> 1291829                                                                                                                                                             | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                     |
| <b>Unit/Common Area:</b> 201 Dunbarton Cir                                                                                                                                      |                        | <b>Category:</b>      | Lighting                         |
| <b>Date Created:</b> 06/24/2025                                                                                                                                                 | <b>Date Completed:</b> | <b>Vendor:</b>        | RIVER CITY ELECTRIC              |
| <b>Schedule Completion Date:</b>                                                                                                                                                |                        |                       |                                  |
| <b>Description:</b> River City Electric - Lights staying on in the day near 201 Dunbarton.                                                                                      |                        |                       |                                  |
| <b>WO#:</b> 1291752                                                                                                                                                             | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                     |
| <b>Unit/Common Area:</b> 514 Dunbarton Cir                                                                                                                                      |                        | <b>Category:</b>      | Drainage                         |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                 | <b>Date Completed:</b> | <b>Vendor:</b>        | PROGRESSIVE PAINTING INC         |
| <b>Schedule Completion Date:</b>                                                                                                                                                |                        |                       |                                  |
| <b>Description:</b> Drainage service request incomplete. The new gutter was installed but it still needs to be painted in addition to the rust stains on the siding. Thank you. |                        |                       |                                  |
| <b>WO#:</b> 1291595                                                                                                                                                             | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                     |
| <b>Unit/Common Area:</b> 1461 University Ave                                                                                                                                    |                        | <b>Category:</b>      | Gate - Back Gate                 |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                 | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path Reconstruction Inc |
| <b>Schedule Completion Date:</b>                                                                                                                                                |                        |                       |                                  |
| <b>Description:</b> CPR - Homeowner reports gate fell over. Needs repairs.                                                                                                      |                        |                       |                                  |
| <b>WO#:</b> 1291594                                                                                                                                                             | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                      |



## Work Orders

### Nepenthe Association

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|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-----------------------|--------------------------------------------------|
| <b>Unit/Common Area:</b> Clubhouse                                                                                                                                                                                                                        |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Please see attached for the signed proposal not to exceed \$140 for the following scope of work: Zone 1, Station 79 - Repair 2 broken Netafim lines at the clubhouse                                                                  |                        |                       |                                                  |
| <b>WO#:</b> 1291573                                                                                                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 10 Adelphi Ct                                                                                                                                                                                                                    |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Carson - Water spraying up and into the alley at 10 or 12 Adelphi. Possible broken irrigation line or sprinkler.                                                                                                                      |                        |                       |                                                  |
| <b>WO#:</b> 1291562                                                                                                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 2322 Swarthmore Dr                                                                                                                                                                                                               |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Please see attached for the signed proposal not to exceed \$370 for the following scope of work: Zone 3, Station 67 - Repair 1 broken lateral line in root infested area, move 1 sprinkler closer to the sidewalk for better coverage |                        |                       |                                                  |
| <b>WO#:</b> 1291554                                                                                                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 112 DUNBARTON Cir                                                                                                                                                                                                                |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Please see attached for the signed proposal not to exceed \$250 for the following scope of work: Zone 4, Station 34 - Repair 1 broken lateral line in root infested area                                                              |                        |                       |                                                  |
| <b>WO#:</b> 1291552                                                                                                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 328 Elmhurst Circle                                                                                                                                                                                                              |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$145 for the following scope of work: Zone 6, Station 47 - Repair 3 broken drip lines                                                                                          |                        |                       |                                                  |
| <b>WO#:</b> 1291539                                                                                                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |

Report Date : 06/26/2025

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## Work Orders

### Nepenthe Association

|                                                                                                                                                                                                                                               |                        |                       |                                                  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-----------------------|--------------------------------------------------|
| <b>Unit/Common Area:</b> 1281 Vanderbilt Way                                                                                                                                                                                                  |                        | <b>Category:</b>      | Sprinkler(s)                                     |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                               | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                              |                        |                       |                                                  |
| <b>Description:</b> Carson - Leaking sprinkler.                                                                                                                                                                                               |                        |                       |                                                  |
| <b>WO#:</b> 1291536                                                                                                                                                                                                                           | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 1281 Vanderbilt Way                                                                                                                                                                                                  |                        | <b>Category:</b>      | Tree Removal                                     |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                               | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                              |                        |                       |                                                  |
| <b>Description:</b> Paul Please remove the tree, we don't this tree to fall Thanks                                                                                                                                                            |                        |                       |                                                  |
| <b>WO#:</b> 1291528                                                                                                                                                                                                                           | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 607 Elmhurst Cir                                                                                                                                                                                                     |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                               | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                              |                        |                       |                                                  |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$140 for the following scope of work: Zone 5, Station #64 - Repair 4 broken drip lines Carson - "Tree at 607 Elmhurst is being watered by some broken drip lines." |                        |                       |                                                  |
| <b>WO#:</b> 1291524                                                                                                                                                                                                                           | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 606 Elmhurst Cir                                                                                                                                                                                                     |                        | <b>Category:</b>      | Landscape                                        |
| <b>Date Created:</b> 06/23/2025                                                                                                                                                                                                               | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                              |                        |                       |                                                  |
| <b>Description:</b> Carson - Homeowner would like someone to check on the almost dead azalea on the right hand side of the walkway. 2 bushes away from the gate.                                                                              |                        |                       |                                                  |
| <b>WO#:</b> 1291071                                                                                                                                                                                                                           | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 605 Elmhurst Cir                                                                                                                                                                                                     |                        | <b>Category:</b>      | Handyman                                         |
| <b>Date Created:</b> 06/19/2025                                                                                                                                                                                                               | <b>Date Completed:</b> | <b>Vendor:</b>        | ELITE Service Experts                            |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                              |                        |                       |                                                  |
| <b>Description:</b> Elite - Broken brick on front walkway. Update 6.25.2025 Need to find matching brick and buy mortar bed to set brick. Possibly take brick from the wall that is going to be taken down.                                    |                        |                       |                                                  |
| <b>WO#:</b> 1291000                                                                                                                                                                                                                           | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> General                                                                                                                                                                                                              |                        | <b>Category:</b>      | Backflow Devices                                 |



## Work Orders

### Nepenthe Association

|                                                                                                                                                                                                                                                   |                        |                       |                                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-----------------------|--------------------------------------------------|
| <b>Date Created:</b> 06/19/2025                                                                                                                                                                                                                   | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                  |                        |                       |                                                  |
| <b>Description:</b> Work order for emergency call for backflow leaking at 600 Elmhurst on 06.18.25 at night time, work order amount \$320                                                                                                         |                        |                       |                                                  |
| <b>WO#:</b> 1290827                                                                                                                                                                                                                               | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Clubhouse                                                                                                                                                                                                                |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/18/2025                                                                                                                                                                                                                   | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                  |                        |                       |                                                  |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$140 for the following scope of work: Zone 1, Station #78 - Repair 2 broken netafim lines Carson - Irrigation leak directly in front of the gym door at the clubhouse. |                        |                       |                                                  |
| <b>WO#:</b> 1290767                                                                                                                                                                                                                               | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 703 Dunbarton Cir                                                                                                                                                                                                        |                        | <b>Category:</b>      | Clean-up                                         |
| <b>Date Created:</b> 06/18/2025                                                                                                                                                                                                                   | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                  |                        |                       |                                                  |
| <b>Description:</b> The Grove - Fallen tree branch in front of address 703 Dunbarton. Clean up needed.                                                                                                                                            |                        |                       |                                                  |
| <b>WO#:</b> 1290734                                                                                                                                                                                                                               | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 3 Landscape                                                                                                                                                                                                         |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/18/2025                                                                                                                                                                                                                   | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                  |                        |                       |                                                  |
| <b>Description:</b> Please see attached for the signed proposal not to exceed \$145 for the following scope of work: Zone 3, Station 46 - Replace 1 broken rotor in a root infested area near Dunbarton 411, Plant death on Dunbarton - 501       |                        |                       |                                                  |
| <b>WO#:</b> 1290732                                                                                                                                                                                                                               | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 5 Landscape                                                                                                                                                                                                         |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/18/2025                                                                                                                                                                                                                   | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                  |                        |                       |                                                  |
| <b>Description:</b> Please see attached for the signed proposal not to exceed \$155 for the following scope of work: Zone 5, Station 2 - Replace 1 broken sprinkler at 1045 Vanderbilt                                                            |                        |                       |                                                  |
| <b>WO#:</b> 1290641                                                                                                                                                                                                                               | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 810 Dunbarton Cir                                                                                                                                                                                                        |                        | <b>Category:</b>      | Landscape                                        |



## Work Orders Nepenthe Association

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|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-----------------------|--------------------------------------------------|
| <b>Date Created:</b> 06/17/2025                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                       |                        |                       |                                                  |
| <b>Description:</b> Carson - Plants in front of address are dying. May not be getting water.                                                                                                           |                        |                       |                                                  |
| <b>WO#:</b> 1290600                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 719 Dunbarton Cir                                                                                                                                                             |                        | <b>Category:</b>      | Landscape Request                                |
| <b>Date Created:</b> 06/17/2025                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds<br>Committee                    |
| <b>Schedule Completion Date:</b>                                                                                                                                                                       |                        |                       |                                                  |
| <b>Description:</b> Grounds Committee - "Please fill in with ivy in your common area where your tree fell down in front of my house. There should be no charge for this."                              |                        |                       |                                                  |
| <b>WO#:</b> 1290273                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> Clubhouse                                                                                                                                                                     |                        | <b>Category:</b>      | Tree Evaluation                                  |
| <b>Date Created:</b> 06/16/2025                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                                                                                                                       |                        |                       |                                                  |
| <b>Description:</b> There is a redwood next to the clubhouse on Swarthmore that appears to be dead/in distress. Can you please evaluate and provide your recommendation?                               |                        |                       |                                                  |
| <b>WO#:</b> 1290258                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 1 Landscape                                                                                                                                                              |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/16/2025                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                       |                        |                       |                                                  |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$140 for the following scope of work: Zone 1, Station 57 - Repair 1 broken drip tubing, replace 1 leaking Netafim indicator |                        |                       |                                                  |
| <b>WO#:</b> 1290256                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 5 Landscape                                                                                                                                                              |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/16/2025                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                       |                        |                       |                                                  |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$470 for the following scope of work: Zone 5 - Station 66 - Replace damaged decoder                                         |                        |                       |                                                  |
| <b>WO#:</b> 1290255                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 703 Elmhurst Cir                                                                                                                                                              |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/16/2025                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |

## Work Orders

### Nepenthe Association

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|----------------------------------------------|------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                            |                                                  |
| <b>Description:</b>                          |                        | Please see attached for signed proposal not to exceed \$155, for the following scope of work: Zone 5, Station #80 - Repair 1 broken drip line                                                                                                                              |                                                  |
| <b>WO#:</b> 1290239                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                      | In-Progress                                      |
| <b>Unit/Common Area:</b> 1143 Vanderbilt Way |                        | <b>Category:</b>                                                                                                                                                                                                                                                           | Irrigation                                       |
| <b>Date Created:</b> 06/16/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                             | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                            |                                                  |
| <b>Description:</b>                          |                        | Please see attached for signed proposal not to exceed \$140 for the following scope of work: Zone 5, Station #16 - Repair 3 broken drip lines Carson - Broken water line outside her gate in the common area and the water is shooting up in the air outside of her patio. |                                                  |
| <b>WO#:</b> 1290236                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                      | Request Sent                                     |
| <b>Unit/Common Area:</b> 2250 Swarthmore Dr  |                        | <b>Category:</b>                                                                                                                                                                                                                                                           | Lighting                                         |
| <b>Date Created:</b> 06/16/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                             | RIVER CITY ELECTRIC                              |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                            |                                                  |
| <b>Description:</b>                          |                        | River City Electric - There is a light out at 2250 Swarthmore Dr. In the alley.                                                                                                                                                                                            |                                                  |
| <b>WO#:</b> 1289981                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                      | Received                                         |
| <b>Unit/Common Area:</b> 505 Elmhurst Cir    |                        | <b>Category:</b>                                                                                                                                                                                                                                                           | Siding                                           |
| <b>Date Created:</b> 06/13/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                             | Critical Path<br>Reconstruction Inc              |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                            |                                                  |
| <b>Description:</b>                          |                        | CPR - There is siding in the patio bordering the alleyway which was not replaced, there is dry rot, and was painted over.                                                                                                                                                  |                                                  |
| <b>WO#:</b> 1289978                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                      | Request Sent                                     |
| <b>Unit/Common Area:</b> 505 Elmhurst Cir    |                        | <b>Category:</b>                                                                                                                                                                                                                                                           | Gutter                                           |
| <b>Date Created:</b> 06/13/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                             | ADVANCED ROOF DESIGN<br>INC                      |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                            |                                                  |
| <b>Description:</b>                          |                        | Advanced Roof Design - Damaged gutter in front patio, Apparently during a wind storm branches flew over the fence from the redwood tree and dented (quite significantly) the gutter running along the kitchen eating area wall.                                            |                                                  |
| <b>WO#:</b> 1289651                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                      | In-Progress                                      |
| <b>Unit/Common Area:</b> 618 Elmhurst Cir    |                        | <b>Category:</b>                                                                                                                                                                                                                                                           | Irrigation                                       |
| <b>Date Created:</b> 06/12/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                             | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                            |                                                  |

## Work Orders

### Nepenthe Association

**Description:** Please see attached for signed proposal not to exceed \$2,845 for the following scope of work: Investigate asbestos broken main line by Elmhurst Cir - 618 - close to the big redwood trees. Cut asphalt, remove asphalt & dig the area to locate the main line. Zone 6 - After investigation at Elmhurst Cir - 618 - repair 1 broken asbestos main line behind trees. Install crushed rock 3/4" - compact it and prepare it for asphalt installation

**WO#:** 1289607      **Status:** Open      **Progress Code:** Request Sent  
**Unit/Common Area:** 1245 Vanderbilt Way      **Category:** Roof  
**Date Created:** 06/11/2025      **Date Completed:**      **Vendor:** ADVANCED ROOF DESIGN INC  
**Schedule Completion Date:**

**Description:** Advanced Roof Design - Ply wood under the roof on the left side of the garage in the patio needs to be looked at.

**WO#:** 1289238      **Status:** Open      **Progress Code:** Pending Proposal  
**Unit/Common Area:** 812 Dunbarton Cir      **Category:** Landscape  
**Date Created:** 06/10/2025      **Date Completed:**      **Vendor:** THE GROVE TOTAL TREE CARE  
**Schedule Completion Date:**

**Description:** The Grove - Homeowner reporting that the roots of a nearby tree are lifting the driveway. Would a crew be able to cut and remove the roots before we request a concrete replacement.

**WO#:** 1289224      **Status:** Open      **Progress Code:** Received  
**Unit/Common Area:** Clubhouse      **Category:** Maintenance  
**Date Created:** 06/10/2025      **Date Completed:**      **Vendor:** EXCEL FITNESS SOLUTIONS, LLC  
**Schedule Completion Date:**

**Description:** Excel Fitness Solutions - the elliptical machine furthest to the right gets stuck when pedals move backward.

**WO#:** 1289221      **Status:** Open      **Progress Code:** Request Sent  
**Unit/Common Area:** 1015 Vanderbilt Way      **Category:** Handyman  
**Date Created:** 06/10/2025      **Date Completed:**      **Vendor:** ELITE Service Experts  
**Schedule Completion Date:**

**Description:** Elite - The front porch step has sections where the mortar has weathered away. Update 6.15.2025 Would need to be done when completing work order #1291071, if we get the mortar supplies.

**WO#:** 1288943      **Status:** Open      **Progress Code:** Request Sent  
**Unit/Common Area:** 104 Dunbarton Cir      **Category:** Roof Inspection  
**Date Created:** 06/09/2025      **Date Completed:**      **Vendor:** ADVANCED ROOF DESIGN INC  
**Schedule Completion Date:**

**Description:** Advanced Roof Design - Homeowner requests inspection of roof and gutter. Hearing noise or bumping sounds.

**WO#:** 1288892      **Status:** Open      **Progress Code:** Request Sent

## Work Orders

### Nepenthe Association

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|---------------------------------------------|------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------|
| <b>Unit/Common Area:</b> General            |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Tree Evaluation                            |
| <b>Date Created:</b> 06/09/2025             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | THE GROVE TOTAL TREE CARE                  |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                            |
| <b>Description:</b>                         |                        | Carson - Homeowners are concerned about the tree in the circle at the end of commons drive not receiving enough water and possibly dying.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                            |
| <b>WO#:</b> 1288732                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | In-Progress                                |
| <b>Unit/Common Area:</b> Zone 3 Landscape   |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Irrigation                                 |
| <b>Date Created:</b> 06/06/2025             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | *FRANK CARSON LANDSCAPE & MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                            |
| <b>Description:</b>                         |                        | Please see attached for the signed proposal not to exceed \$395 for the following scope of work: Zone 3 - Station 36 - Repair 1 broken lateral line close to the tree in a root infested area                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                            |
| <b>WO#:</b> 1288649                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Request Sent                               |
| <b>Unit/Common Area:</b> 1428 Commons Dr    |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Landscape Request                          |
| <b>Date Created:</b> 06/06/2025             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Nepenthe Grounds Committee                 |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                            |
| <b>Description:</b>                         |                        | Grounds Committee - "The area in front of property that is surrounded by brick half wall has never been properly landscaped nor maintained. In the past different nepenthe landscapers have proposed plantings including an 'ornamental' tree and various plants that would quickly grow above brick wall. Nothing was ever completed as promised. The window in front of this area is a large, floor to ceiling window that has to be covered to prevent viewing this unsightly area. It requires a planned landscape that is pleasant to view from the interior window as well as from the street view.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                            |
| <b>WO#:</b> 1288516                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Request Sent                               |
| <b>Unit/Common Area:</b> 1012 Dunbarton Cir |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Landscape Request                          |
| <b>Date Created:</b> 06/05/2025             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Nepenthe Grounds Committee                 |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                            |
| <b>Description:</b>                         |                        | Grounds Committee - Replace/Restore the hedge line that separated and provided a visual/noise buffer between the front of my home and the adjoining driveway and garages. As I understand it, the HOA removed major areas of landscaping and vegetation throughout the Nepenthe common areas during the still ongoing painting/siding project. They also removed the entire hedge line in front of my home without any notification or consultation with me, the homeowner. The hedge line that was removed was prox. 5 feet high and ran continuously, prox. 30 feet, from the fence corner at 112 Dunbarton to the front walkway at 114 Dunbarton. I purchased this home in April, 2022 with a major purchasing consideration given to the end-unit privacy of this location. The hedge line not only provided a level of visual privacy by minimizing the view of the 24/7 vehicle activity but also by acted as a noise buffer reduction from the various vehicles i.e. UPS/Amazon, US Mail, Trash Collection and from the SMUD electrical pad-mount transformer constant operational humming noise. I believe that the HOA does a good job of preserving the beauty and value of our homes but the indiscriminate vegetation removal can also reduce the beauty and value of our homes. Note: The attached picture shows a partial view of the hedge line before removal. |                                            |
| <b>WO#:</b> 1288218                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Request Sent                               |

## Work Orders

### Nepenthe Association

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|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-----------------------|--------------------------------------------------|
| <b>Unit/Common Area:</b> 719 Dunbarton Cir                                                                                                                                |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 06/04/2025                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Owner is reporting broken irrigation line where tree recently fell. Please assess.                                                                    |                        |                       |                                                  |
| <b>WO#:</b> 1288217                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 7 Landscape                                                                                                                                 |                        | <b>Category:</b>      | Tree Maintenance                                 |
| <b>Date Created:</b> 06/04/2025                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Please see attached for board approved signed proposal not to exceed \$5,706.67 for the following scope of work: Zone 7 tree pruning and maintenance  |                        |                       |                                                  |
| <b>WO#:</b> 1288216                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 6 Landscape                                                                                                                                 |                        | <b>Category:</b>      | Tree Maintenance                                 |
| <b>Date Created:</b> 06/04/2025                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Please see attached for board approved signed proposal not to exceed \$17,120 for the following scope of work: Zone 6 tree pruning and maintenance    |                        |                       |                                                  |
| <b>WO#:</b> 1288215                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 5 Landscape                                                                                                                                 |                        | <b>Category:</b>      | Tree Maintenance                                 |
| <b>Date Created:</b> 06/04/2025                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Please see attached for board approved signed proposal not to exceed \$19,973.33 for the following scope of work: Zone 5 tree pruning and maintenance |                        |                       |                                                  |
| <b>WO#:</b> 1288213                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 4 Landscape                                                                                                                                 |                        | <b>Category:</b>      | Tree Maintenance                                 |
| <b>Date Created:</b> 06/04/2025                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                                                                                          |                        |                       |                                                  |
| <b>Description:</b> Please see attached for board approved signed proposal not to exceed \$21,400 for the following scope of work: Zone 4 tree pruning and maintenance    |                        |                       |                                                  |
| <b>WO#:</b> 1288212                                                                                                                                                       | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> Zone 3 Landscape                                                                                                                                 |                        | <b>Category:</b>      | Tree Maintenance                                 |
| <b>Date Created:</b> 06/04/2025                                                                                                                                           | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                                                                                          |                        |                       |                                                  |



## Work Orders

### Nepenthe Association

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| <b>Description:</b> Please see attached for board approved signed proposal not to exceed \$21,400 for the following scope of work: Zone 3 tree pruning and maintenance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                        |                       |                                            |
| <b>WO#:</b> 1288211                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                               |
| <b>Unit/Common Area:</b> Zone 2 Landscape                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                        | <b>Category:</b>      | Tree Maintenance                           |
| <b>Date Created:</b> 06/04/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE CARE                  |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                        |                       |                                            |
| <b>Description:</b> Please see attached for board approved signed proposal not to exceed \$8,590 for the following scope of work: Zone 2 tree pruning and maintenance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                        |                       |                                            |
| <b>WO#:</b> 1288184                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                |
| <b>Unit/Common Area:</b> Zone 4 Landscape                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                        | <b>Category:</b>      | Irrigation                                 |
| <b>Date Created:</b> 06/04/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON LANDSCAPE & MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                        |                       |                                            |
| <b>Description:</b> Please see attached for board approved proposal not to exceed \$130 for the following scope of work: Station 53 - Replace (2) rotary for U series nozzles to improve water coverage where the turf and shrub are declining                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                        |                       |                                            |
| <b>WO#:</b> 1288088                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                               |
| <b>Unit/Common Area:</b> 2330 Swarthmore Dr                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                        | <b>Category:</b>      | Landscape Request                          |
| <b>Date Created:</b> 06/03/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds Committee                 |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                        |                       |                                            |
| <b>Description:</b> Grounds Committee - "My front yard at the end of Swarthmore Drive has not been landscaped or properly taken care of. The bark is gone and has exposed dirt. When it rains I have mud puddles. I have two plants which are green now but most of the year they look like dried twig. (They need to go) I have two small rocks which are pretty ugly. I have walked all over Nepenthe and I see beautifully landscaped fronts that have low lying green plants all year long, and large river rock edging. I wish this was all but because of recent storms the branches and bushes blocking Howe Ave have slowly been cut. Further down from my house bushes and trees have been planted. Sadly a big empty space has been left by my house and I am looking out on Howe Ave. Needless to say the car noise has increased." |                        |                       |                                            |
| <b>WO#:</b> 1288050                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                |
| <b>Unit/Common Area:</b> 1257 Vanderbilt Way                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                        | <b>Category:</b>      | Sprinkler(s)                               |
| <b>Date Created:</b> 06/03/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON LANDSCAPE & MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                        |                       |                                            |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$125 for the following scope of work: Zone 5, Station #42 - Repair 1 broken fitting in root infested area Carson - Broken sprinkler in front of the address. Spraying water.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                        |                       |                                            |
| <b>WO#:</b> 1288037                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                               |
| <b>Unit/Common Area:</b> 1359 Commons Dr                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                        | <b>Category:</b>      | Mailbox                                    |

## Work Orders Nepenthe Association

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| <b>Date Created:</b> 06/03/2025                                                                                                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path Reconstruction Inc           |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                       |                        |                       |                                            |
| <b>Description:</b> CPR please put the new mail box post it is dry rotted Thanks                                                                                                                                                                                                       |                        |                       |                                            |
| <b>WO#:</b> 1287694                                                                                                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                |
| <b>Unit/Common Area:</b> 203 Elmhurst Cir                                                                                                                                                                                                                                              |                        | <b>Category:</b>      | Irrigation                                 |
| <b>Date Created:</b> 06/02/2025                                                                                                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON LANDSCAPE & MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                       |                        |                       |                                            |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$155 for the following scope of work: Zone 5 - Station #24 - Repair 1 broken drip line Carson - Between 203 Elm and the street, there is a broken sprinkler or irrigation line. Spraying water.             |                        |                       |                                            |
| <b>WO#:</b> 1287101                                                                                                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                |
| <b>Unit/Common Area:</b> 516 Dunbarton Cir                                                                                                                                                                                                                                             |                        | <b>Category:</b>      | Siding                                     |
| <b>Date Created:</b> 05/29/2025                                                                                                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path Reconstruction Inc           |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                       |                        |                       |                                            |
| <b>Description:</b> cpr There is a wood decay on 2 story siding at the left side of the home. Wood decay to the 2x8 fascia beard to the left side of the home Siding damage on the front of the house This was on pest report, please inspect and send the change order                |                        |                       |                                            |
| <b>WO#:</b> 1287082                                                                                                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                               |
| <b>Unit/Common Area:</b> 1112 Vanderbilt Way                                                                                                                                                                                                                                           |                        | <b>Category:</b>      | Masonry                                    |
| <b>Date Created:</b> 05/29/2025                                                                                                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path Reconstruction Inc           |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                       |                        |                       |                                            |
| <b>Description:</b> CPR There is a Masonry wall that is leaning due to the tree roots, please provide us the proposal for removal and rebuilt if possible. Thanks                                                                                                                      |                        |                       |                                            |
| <b>WO#:</b> 1287054                                                                                                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                |
| <b>Unit/Common Area:</b> 800 Dunbarton Cir                                                                                                                                                                                                                                             |                        | <b>Category:</b>      | Sprinkler(s)                               |
| <b>Date Created:</b> 05/29/2025                                                                                                                                                                                                                                                        | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON LANDSCAPE & MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                       |                        |                       |                                            |
| <b>Description:</b> Please see attached for the signed proposal not to exceed \$120 for the following scope of work: Zone 4 - Station 50 - Repair 1 broken netafim line Carson - Homeowner states the sprinklers in front of unit are hitting the front window and need an adjustment. |                        |                       |                                            |
| <b>WO#:</b> 1287041                                                                                                                                                                                                                                                                    | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                |
| <b>Unit/Common Area:</b> 1437 University Ave                                                                                                                                                                                                                                           |                        | <b>Category:</b>      | Irrigation                                 |



## Work Orders Nepenthe Association

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| <b>Date Created:</b> 05/29/2025            | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                               | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>           |                                                                                                                                                                                                                                                                                                                                                                                                                                      |                       |                                                  |
| <b>Description:</b>                        | Please see attached for signed proposal not to exceed \$125 for the following scope of work: Zone 7, Station 6 - Repair 1 broken netafim line Carson - Broken netafim line with water spraying near 1437 University garage.                                                                                                                                                                                                          |                       |                                                  |
| <b>WO#:</b> 1286785                        | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 101 Dunbarton Cir |                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 05/28/2025            | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                               | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>           |                                                                                                                                                                                                                                                                                                                                                                                                                                      |                       |                                                  |
| <b>Description:</b>                        | Please see attached for the signed proposal not to exceed \$240 for the following scope of work: Zone 3 - Station 79 - Repair 1 broken netafim line Zone 3 - Station 80 - Repair 1 broken fitting Carson - Homeowner noticed a damaged sprinkler shooting water outside of her patio fence.                                                                                                                                          |                       |                                                  |
| <b>WO#:</b> 1286765                        | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 718 Elmhurst Cir  |                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>Category:</b>      | Landscape Request                                |
| <b>Date Created:</b> 05/28/2025            | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                               | <b>Vendor:</b>        | Nepenthe Grounds<br>Committee                    |
| <b>Schedule Completion Date:</b>           |                                                                                                                                                                                                                                                                                                                                                                                                                                      |                       |                                                  |
| <b>Description:</b>                        | Grounds Committee - "See attached photo, the plants in the alley are no table to withstand the high heat that is generated. The plants are not drought tolerant and even id the survive the summer heat they die off in the winter leaving bare ground. How about planting something that stays green all year long and can take the heat. Something like Little John Bottle Brush, they love the heat and look good all year long." |                       |                                                  |
| <b>WO#:</b> 1286492                        | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 318 Elmhurst Cir  |                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>Category:</b>      | Tree Evaluation                                  |
| <b>Date Created:</b> 05/27/2025            | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                               | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>           |                                                                                                                                                                                                                                                                                                                                                                                                                                      |                       |                                                  |
| <b>Description:</b>                        | The Grove - "Photo is of the common area tree at the end of our alley. If you look closely you can see that the limb is bowed near the main trunk and drooping over the sidewalk and street. It is low enough to be hit by cars and could snap and fall onto parked cars or people."                                                                                                                                                 |                       |                                                  |
| <b>WO#:</b> 1286413                        | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 713 Dunbarton Cir |                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 05/27/2025            | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                               | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>           |                                                                                                                                                                                                                                                                                                                                                                                                                                      |                       |                                                  |
| <b>Description:</b>                        | Please see attached for the signed proposal not to exceed \$260 for the following scope of work: Zone 3, Station #34 - Repair 1 broken Netafim line/repair several Netafim lines - damaged from stump grinder Carson - Homeowner reports hole in irrigation line. Near the sidewalk in front of 713 Dunbarton. Water spraying towards window.                                                                                        |                       |                                                  |

Report Date : 06/26/2025

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## Work Orders Nepenthe Association

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| <b>WO#:</b> 1285455                                                                                                                                                                                                                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 601 Elmhurst Cir                                                                                                                                                                                                                                                                                                                                           |                        | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 05/20/2025                                                                                                                                                                                                                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> Please see attached for signed proposal not to exceed \$120 for the following scope of work: Zone 5 - Station #51 - Repair 1 broken netafim line. Carson - Water pooling near patio gate.                                                                                                                                                                       |                        |                       |                                                  |
| <b>WO#:</b> 1285277                                                                                                                                                                                                                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 1242 Vanderbilt Way                                                                                                                                                                                                                                                                                                                                        |                        | <b>Category:</b>      | Tree Evaluation                                  |
| <b>Date Created:</b> 05/20/2025                                                                                                                                                                                                                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | THE GROVE TOTAL TREE<br>CARE                     |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> There is a Japanese maple planted in front of the window of this home. Homeowner is concerned regarding health of the tree as it gets warmer. Please assess the tree and see what solutions may be available to assist in keeping this tree alive over the warmer days. Additionally, owner would like to be present for the evaluation if possible. Thank you! |                        |                       |                                                  |
| <b>WO#:</b> 1285097                                                                                                                                                                                                                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 2326 Swarthmore Dr                                                                                                                                                                                                                                                                                                                                         |                        | <b>Category:</b>      | Siding                                           |
| <b>Date Created:</b> 05/19/2025                                                                                                                                                                                                                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | Critical Path<br>Reconstruction Inc              |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> CPR please check the siding and the fence for dry rot. Thanks                                                                                                                                                                                                                                                                                                   |                        |                       |                                                  |
| <b>WO#:</b> 1285052                                                                                                                                                                                                                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 2257 Swarthmore Dr                                                                                                                                                                                                                                                                                                                                         |                        | <b>Category:</b>      | Landscape Request                                |
| <b>Date Created:</b> 05/19/2025                                                                                                                                                                                                                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds<br>Committee                    |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                    |                        |                       |                                                  |
| <b>Description:</b> Grounds Committee - "Exposed irrigation lines in the front yard. Needs Mulch replacement."                                                                                                                                                                                                                                                                      |                        |                       |                                                  |
| <b>WO#:</b> 1284763                                                                                                                                                                                                                                                                                                                                                                 | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 211 Elmhurst Cir                                                                                                                                                                                                                                                                                                                                           |                        | <b>Category:</b>      | Landscape Request                                |
| <b>Date Created:</b> 05/16/2025                                                                                                                                                                                                                                                                                                                                                     | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds<br>Committee                    |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                    |                        |                       |                                                  |

## Work Orders

### Nepenthe Association

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|-------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|--------------------------------------------------|
| <b>Description:</b>                       | Grounds Committee - "To whom it may concern, We've had dead stick trees (I honestly don't know what they are, but this is the most fitting description I could come up with) in front of our main window for a couple of years now and it's become depressing to look at, not to mention a bit embarrassing when I have company over. I would love to have some privacy again, the plants that had been there for years were ripped out, unfortunately, and we haven't had privacy since. That being said, I would like to make a formal request to replace the dead stick trees in the front window area with Salvia Hot Lips plants. Not only are they aesthetically pleasing and would provide more privacy, they are very low maintenance, drought resistant/require next to no watering, and they really thrive in our conditions with a little pruning in late winter/early spring. I hope to get replacement for the dead plants out front soon, and look forward to seeing something that is more reflective of our vibrant, nature-based community. Many thanks in advance for considering the Salvia Hot Lips!" |                       |                                                  |
| <b>WO#:</b> 1284115                       | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <b>Progress Code:</b> | In-Progress                                      |
| <b>Unit/Common Area:</b> 209 Elmhurst Cir |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>Category:</b>      | Irrigation                                       |
| <b>Date Created:</b> 05/13/2025           | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>Vendor:</b>        | *FRANK CARSON<br>LANDSCAPE &<br>MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                       |                                                  |
| <b>Description:</b>                       | Please see attached for the signed proposal not to exceed \$250 for the following scope of work: Zone 5 - Station #57 - Repair broken lateral lines in a root infested area Carson - 2 broken irrigation lines to the left of the garage door.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                       |                                                  |
| <b>WO#:</b> 1283559                       | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 601 Elmhurst Cir |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>Category:</b>      | Landscape Request                                |
| <b>Date Created:</b> 05/09/2025           | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>Vendor:</b>        | Nepenthe Grounds<br>Committee                    |
| <b>Schedule Completion Date:</b>          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                       |                                                  |
| <b>Description:</b>                       | Grounds Committee - "I like some type of flowering ground cover or low scrubs to be planted to the right of my garage where there is nothing growing. I am in favor of something drought-tolerate. Thank You!"                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                       |                                                  |
| <b>WO#:</b> 1280927                       | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 722 Elmhurst Cir |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>Category:</b>      | Landscape Request                                |
| <b>Date Created:</b> 05/01/2025           | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>Vendor:</b>        | Nepenthe Grounds<br>Committee                    |
| <b>Schedule Completion Date:</b>          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                       |                                                  |
| <b>Description:</b>                       | Grounds Committee - Homeowner is allergic to bees and the bottlebrush trees outside of her unit attract them. She would like them removed and replaced with something else that does not attract bees.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                       |                                                  |
| <b>WO#:</b> 1280273                       | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <b>Progress Code:</b> | Request Sent                                     |
| <b>Unit/Common Area:</b> 320 Elmhurst Cir |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>Category:</b>      | Landscape Request                                |
| <b>Date Created:</b> 04/29/2025           | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>Vendor:</b>        | Nepenthe Grounds<br>Committee                    |
| <b>Schedule Completion Date:</b>          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                       |                                                  |
| <b>Description:</b>                       | Grounds Committee - In the alley way for 320 Elmhurst there is lots of bare dirt, not much irrigation, and the rocks/bark previously placed have mostly been removed. The homeowner would like the area to meet the standard of the rest of the community.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                       |                                                  |
| <b>WO#:</b> 1280070                       | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <b>Progress Code:</b> | In-Progress                                      |

## Work Orders

### Nepenthe Association

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|----------------------------------------------|------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|
| <b>Unit/Common Area:</b> 2315 Swarthmore Dr  |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Gate - Back Gate                 |
| <b>Date Created:</b> 04/28/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Critical Path Reconstruction Inc |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                  |
| <b>Description:</b>                          |                        | CPR - "Gate is falling apart with dry rot and cant even open it now. This is the second request on this problem. First time fix was to renew slot on. It is standing by the gate."                                                                                                                                                                                                                                                                                                                                     |                                  |
| <b>WO#:</b> 1280065                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Received                         |
| <b>Unit/Common Area:</b> 1197 Vanderbilt Way |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Landscape Request                |
| <b>Date Created:</b> 04/28/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Nepenthe Grounds Committee       |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                  |
| <b>Description:</b>                          |                        | Grounds Committee - "Repair area in front of the front room window. It is all dirt and needs shade ground cover. Also the rhododendron needs to be shaped up."                                                                                                                                                                                                                                                                                                                                                         |                                  |
| <b>WO#:</b> 1278151                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Request Sent                     |
| <b>Unit/Common Area:</b> 12 Adelphi Ct       |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Landscape Request                |
| <b>Date Created:</b> 04/16/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Nepenthe Grounds Committee       |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                  |
| <b>Description:</b>                          |                        | Grounds Committee - "I am requesting remediation of a condition that has lasted over two years. For years, I have had 6 plants in front of my home. One by one they died and were removed by Carson but never replaced. These plants died due to lack of maintenance and irrigation. Photos are attached. I am requesting replacement plants. I am also requesting irrigation maintenance so this does not happen again. PLEASE DO NOT PLANT AZALEAS, CAMELLIAS, OR NADINAS AS THEY WILL NOT THRIVE IN THIS LOCATION." |                                  |
| <b>WO#:</b> 1277915                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Request Sent                     |
| <b>Unit/Common Area:</b> 2265 Swarthmore Dr  |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Landscape Request                |
| <b>Date Created:</b> 04/15/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Nepenthe Grounds Committee       |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                  |
| <b>Description:</b>                          |                        | Grounds Committee - "Please remove and replant area in front of the house, between house, and half wall."                                                                                                                                                                                                                                                                                                                                                                                                              |                                  |
| <b>WO#:</b> 1277594                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Request Sent                     |
| <b>Unit/Common Area:</b> 806 Dunbarton Cir   |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Landscape Replacement            |
| <b>Date Created:</b> 04/14/2025              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Nepenthe Grounds Committee       |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                  |
| <b>Description:</b>                          |                        | Grounds Committee - 1) Dead azalea behind pony wall. Please remove and replace with new. 2) decorative grasses removed last fall. Just mud now Please replace with something!                                                                                                                                                                                                                                                                                                                                          |                                  |
| <b>WO#:</b> 1277237                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Request Sent                     |
| <b>Unit/Common Area:</b> 1485 University Ave |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Landscape Request                |

## Work Orders

### Nepenthe Association

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| <b>Date Created:</b> 04/10/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                        |                       |                            |
| <b>Description:</b> Grounds Committee - "Dead shrubbery was removed between 1479/1485 garage way. Was told it would be replaced. Still has not. Would like replaced."                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                        |                       |                            |
| <b>WO#:</b> 1276722                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Status:</b> Open    | <b>Progress Code:</b> | Request Sent               |
| <b>Unit/Common Area:</b> 202 Dunbarton Cir                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                        | <b>Category:</b>      | Landscape Request          |
| <b>Date Created:</b> 04/08/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                        |                       |                            |
| <b>Description:</b> Grounds Committee - "The front yard at this residence is not as well landscaped as other yards. Some yards are very manicured with plants and rocks as well as ivy. This yard has an overabundance of ivy that is not well kept. It is full of the dead matter from the large surrounding trees. The dead matter is not extracted but blown into the ivy which stunts the ivy growth and looks messy. The yard always look like it need maintenance. I would like the large rocks in the yard near the front window to be removed and plants and rocks added as in other yards. I would be happy to do this myself and mirror the materials that have been installed in other yards if you will allow me to do so." |                        |                       |                            |
| <b>WO#:</b> 1276712                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Status:</b> Open    | <b>Progress Code:</b> | Pending Proposal           |
| <b>Unit/Common Area:</b> 718 Elmhurst Cir                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                        | <b>Category:</b>      | Landscape Request          |
| <b>Date Created:</b> 04/08/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                        |                       |                            |
| <b>Description:</b> Grounds Committee - "Several months ago this plan died and was removed by Carson. However, there has not been any replacement. We are watering an empty spot."                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                        |                       |                            |
| <b>WO#:</b> 1276121                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Status:</b> Open    | <b>Progress Code:</b> | Pending Proposal           |
| <b>Unit/Common Area:</b> 1269 Vanderbilt Way                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                        | <b>Category:</b>      | Landscape Request          |
| <b>Date Created:</b> 04/03/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                        |                       |                            |
| <b>Description:</b> Grounds Committee - Homeowner would like some plants added to the patch area where there is nothing. Also would like the dead hedge to be removed and replaced.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                        |                       |                            |
| <b>WO#:</b> 1274262                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Status:</b> Open    | <b>Progress Code:</b> | Pending Proposal           |
| <b>Unit/Common Area:</b> 1221 Vanderbilt Way                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                        | <b>Category:</b>      | Landscape Request          |
| <b>Date Created:</b> 03/25/2025                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                        |                       |                            |
| <b>Description:</b> Grounds Committee - "Please remove box hedge (A) along side of garage. The Hedge brushes against the siding, requires pruning, and is straggly with dead branches. Replace hedge with dianella revolta "alln-citation plants". "                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                        |                       |                            |
| <b>WO#:</b> 1272982                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Status:</b> Open    | <b>Progress Code:</b> | Pending Proposal           |
| <b>Unit/Common Area:</b> 814 Elmhurst Cir                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                        | <b>Category:</b>      | Landscape Request          |



## Work Orders

### Nepenthe Association

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|----------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|--------------------------------------------|
| <b>Date Created:</b> 03/17/2025              | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>Vendor:</b>        | Nepenthe Grounds Committee                 |
| <b>Schedule Completion Date:</b>             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                       |                                            |
| <b>Description:</b>                          | Grounds Committee - "The front area outside my patio between the fence and redwood trees is bare ground. I'm requesting the installation of 5 Cistus Cobariensis (Little Miss Sunshine). They grow to 2ft tall and spread 4ft wide. Also 4 Cool Vista Dianella. They grow 3ft tall and 3ft wide. See attached diagram. This area is used as a shortcut across the lawn through the planting area to the alleyway bypassing the walkway. I'm hopeful the plants will not only beautify the area, but will deter people from using it as a shortcut." |                       |                                            |
| <b>WO#:</b> 1271847                          | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>Progress Code:</b> | Received                                   |
| <b>Unit/Common Area:</b> 1425 Commons Dr     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Category:</b>      | Landscape Request                          |
| <b>Date Created:</b> 03/07/2025              | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>Vendor:</b>        | Nepenthe Grounds Committee                 |
| <b>Schedule Completion Date:</b>             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                       |                                            |
| <b>Description:</b>                          | Turkeys are making a mess around our yard/walkway in our alley, we would like rocks bordering the walkway to stop the spread of dirt and mulch on our walkway.                                                                                                                                                                                                                                                                                                                                                                                      |                       |                                            |
| <b>WO#:</b> 1270502                          | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>Progress Code:</b> | Pending Proposal                           |
| <b>Unit/Common Area:</b> 810 Dunbarton Cir   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Category:</b>      | Landscape                                  |
| <b>Date Created:</b> 02/27/2025              | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>Vendor:</b>        | *FRANK CARSON LANDSCAPE & MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                       |                                            |
| <b>Description:</b>                          | Carson - Please provide proposal for the following: Plant year-round (perennial) plants/flowering plants in flowerbed near front door. (note: this area gets hot afternoon sun). Add mulch/bark to flowerbed near front door. Right now it is bare dirt                                                                                                                                                                                                                                                                                             |                       |                                            |
| <b>WO#:</b> 1269028                          | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>Progress Code:</b> | Pending Proposal                           |
| <b>Unit/Common Area:</b> 1213 Vanderbilt Way |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Category:</b>      | Landscape Request                          |
| <b>Date Created:</b> 02/19/2025              | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>Vendor:</b>        | Nepenthe Grounds Committee                 |
| <b>Schedule Completion Date:</b>             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                       |                                            |
| <b>Description:</b>                          | Grounds Committee - "The magnolia nigra tree that was planted in front of my residence about 3 to 4 months ago was stolen approximately 6 weeks ago. I'm requesting a replacement tree asap so that I might have shade one day soon." Requesting replacement with Oklahoma redbud                                                                                                                                                                                                                                                                   |                       |                                            |
| <b>WO#:</b> 1262816                          | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>Progress Code:</b> | Pending Proposal                           |
| <b>Unit/Common Area:</b> Landscape           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Category:</b>      | Landscape                                  |
| <b>Date Created:</b> 01/14/2025              | <b>Date Completed:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>Vendor:</b>        | *FRANK CARSON LANDSCAPE & MAINTENANCE INC. |
| <b>Schedule Completion Date:</b>             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                       |                                            |
| <b>Description:</b>                          | Please provide proposal for the below scope of work: Carson - Please evaluate the area for irrigation issues, the ivy seems to growing further and further back. (No irrigation was found in area, please provide proposal to provide irrigation) 1039 Commons for corner of Commons/Colby                                                                                                                                                                                                                                                          |                       |                                            |
| <b>WO#:</b> 1262776                          | <b>Status:</b> Open                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>Progress Code:</b> | In-Progress                                |

Report Date : 06/26/2025

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## Work Orders

### Nepenthe Association

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|---------------------------------------------|------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|
| <b>Unit/Common Area:</b> Landscape          |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                    | Landscape                  |
| <b>Date Created:</b> 01/14/2025             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                      | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                     |                            |
| <b>Description:</b>                         |                        | This work order is to track all of the grass issues throughout the community which includes the following areas: 4 Colby (previously WO#1147579), 1182 Vanderbilt (previously WO#1209969), 320 Elmhurst (previously WO#1243997), 506 Elmhurst Any additional areas will be added to this work order |                            |
| <b>WO#:</b> 1262480                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                               | Pending Proposal           |
| <b>Unit/Common Area:</b> 2330 Swarthmore Dr |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                    | Landscape Request          |
| <b>Date Created:</b> 01/13/2025             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                      | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                     |                            |
| <b>Description:</b>                         |                        | Nepenthe Grounds Committee - "My front yard is in desperate need of landscape work. It is simply a pile of dry leaves, dirt, an two dried up small plants that seldom have green leaves. When it rains it becomes a muddy mess. "                                                                   |                            |
| <b>WO#:</b> 1253141                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                               | Pending Proposal           |
| <b>Unit/Common Area:</b> 306 Dunbarton Cir  |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                    | Landscape Request          |
| <b>Date Created:</b> 11/13/2024             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                      | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                     |                            |
| <b>Description:</b>                         |                        | Grounds Committee - "Some time ago, azaleas were planted to the right of my front door. Only one survived. I would like to have the azalea replanted."                                                                                                                                              |                            |
| <b>WO#:</b> 1252198                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                               | Pending Proposal           |
| <b>Unit/Common Area:</b> 809 Dunbarton Cir  |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                    | Landscape Request          |
| <b>Date Created:</b> 11/08/2024             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                      | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                     |                            |
| <b>Description:</b>                         |                        | Add a short strip of rock to protect siding and window from splashing rain and mud. See request form.                                                                                                                                                                                               |                            |
| <b>WO#:</b> 1248489                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                               | Pending Proposal           |
| <b>Unit/Common Area:</b> 710 Elmhurst Cir   |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                    | Landscape Request          |
| <b>Date Created:</b> 10/22/2024             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                      | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>            |                        |                                                                                                                                                                                                                                                                                                     |                            |
| <b>Description:</b>                         |                        | Grounds Committee - Homeowner called to report dead plants and ivy by the driveway in the alley of her unit. Wants plants and ivy replaced. Thank you                                                                                                                                               |                            |
| <b>WO#:</b> 1245602                         | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                               | In-Progress                |
| <b>Unit/Common Area:</b> 606 Elmhurst Cir   |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                    | Landscape Request          |
| <b>Date Created:</b> 10/08/2024             | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                      | Nepenthe Grounds Committee |

## Work Orders

### Nepenthe Association

|                                              |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                            |
|----------------------------------------------|------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                            |
| <b>Description:</b>                          |                        | Grounds Committee - Please see attached photo, the owners of 604 and 606 are requesting it be removed. It is very large for the area and becomes unsightly with aphid webs occurring constantly.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                            |
| <b>WO#:</b> 1240712                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Pending Proposal           |
| <b>Unit/Common Area:</b> 1403 Commons Dr     |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Landscape Request          |
| <b>Date Created:</b> 09/17/2024              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                            |
| <b>Description:</b>                          |                        | Grounds Committee - "A yellow lucky lantern abutilon plant (I think it is correct name!) has been slowly losing branches/flowers due to turkeys & workers brushing up against it + rainy/windy days. This past summer the dry rot work, power washing & painting caused many more broken branches. It is a spindly vulnerable plant held up by the brick wall in front of it. (See attached pictures) We request 1 to 2 plants to replace it. Thank you!"                                                                                                                                                                                                                                                                                          |                            |
| <b>WO#:</b> 1239620                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Pending Proposal           |
| <b>Unit/Common Area:</b> 813 Dunbarton Cir   |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Landscape Request          |
| <b>Date Created:</b> 09/11/2024              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                            |
| <b>Description:</b>                          |                        | Grounds Committee - "Location Request is directly in front of front porch on either side. Please: 1) Remove two bush stumps, One on either side of sidewalk. 2) Plant various plants along right side of sidewalk. Area can b every hot and sunny during summer. In the fall it is shady stating around noon" Thank you                                                                                                                                                                                                                                                                                                                                                                                                                            |                            |
| <b>WO#:</b> 1236920                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Pending Proposal           |
| <b>Unit/Common Area:</b> 307 Dunbarton Cir   |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Landscape Request          |
| <b>Date Created:</b> 08/30/2024              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                            |
| <b>Description:</b>                          |                        | Grounds Committee - " I have an urgent discussion regarding the amount and location of the plat "heavenly bamboo" that surrounds my property. THERE ARE 17 of the "heavenly bamboo" !!! more than any property that we seen around DUNBARTON CIRCLE. I request that the plants which we took down NOT BE REPLACED. We were fined for cutting back a few of them that were growing into the beautiful ornamental plants that sit closer to the street, The bamboo plants were falling forward, the whole area was a hot mess. Now, with the bamboo plants removed the ornamental plants look lovely. I also would like the 2 heavenly bamboo on either side of my gate removed. They send runners onto my yard and cover the door bell. " Thank you |                            |
| <b>WO#:</b> 1235145                          | <b>Status:</b> Open    | <b>Progress Code:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Pending Proposal           |
| <b>Unit/Common Area:</b> 1317 Vanderbilt Way |                        | <b>Category:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Landscape Request          |
| <b>Date Created:</b> 08/22/2024              | <b>Date Completed:</b> | <b>Vendor:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>             |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                            |



**Work Orders**  
**Nepenthe Association**

**Description:** Grounds Committee "My beautiful Japanese maple got destroyed during a storm. I was told by my zone steward I was getting a redbud maple. Oscar came by and was instructed to plant more ivy in the small hole where the stump was. Its only about 18in in diameter and the existing ivy will grow over it, so not sure why he needed to plant more. Regardless, I want a tree there there. The landscaping along our row of homes looks terrible, even though some of it was redone recently. I think the reason my house sat on the market so long was because of the bad curb appeal. He also mentioned rocks. I don't mind them by the drain but don't want a rock necklace at my foundation as its unnecessary. "

|                                            |                        |                       |                            |
|--------------------------------------------|------------------------|-----------------------|----------------------------|
| <b>WO#:</b> 1233598                        | <b>Status:</b> Open    | <b>Progress Code:</b> | In-Progress                |
| <b>Unit/Common Area:</b> 101 Dunbarton Cir |                        | <b>Category:</b>      | Landscape Request          |
| <b>Date Created:</b> 08/16/2024            | <b>Date Completed:</b> | <b>Vendor:</b>        | Nepenthe Grounds Committee |
| <b>Schedule Completion Date:</b>           |                        |                       |                            |

**Description:** Grounds Committee "Requesting an evaluation of my front landscaping which has been sparse for quite a long time. I understand the grass situation is due to shade trees but as the first house in the siding/painting project, the lawn has never recovered from the construction equipment all over the lawn. I hope you can take the time to evaluate."

**Nepenthe MR June 2025 Revised..pdf**



**Dry Rot and Painting Project**  
**Phase One 2022-2023-2024**  
**Phase Two 2024-2025**  
**Phase Three 2025- 2026**  
**Monthly Project Report For June 2025**

## Reeves Construction, Inc.

Project: Nepenthe Dry Rot and Painting

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|                                    |             |
|------------------------------------|-------------|
| <b>1. Phase #2 Update</b>          | <b>3</b>    |
| <b>2. Phase #3 Update</b>          | <b>4</b>    |
| <b>3. Trellis's</b>                | <b>4</b>    |
| <b>3. Phase #2 Cost Management</b> | <b>5</b>    |
| <b>6. Phase #2 Invoice Control</b> | <b>6-18</b> |

**Scope Management (Change order logs) was moved to separate attachments.**

## Reeves Construction, Inc.

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## Phase #2.

We have completed 201 homes in Phase 2 with our siding, trim, and fence repairs, as well as 160 with painting. CPR, our siding, trim, and fencing contractor, is currently working on Last 10 homes, 1215- 1281 Vanderbilt Way. I expect phase #2 for the carpenters to be completed at the Beginning of July.

I have been comparing our phase two inspections from April 2023 to the current condition of the buildings. Fencing has seen the most significant change. Refer to phase #2, Cost Management, on page 5. Fences we might have been able to repair in 2023 now have framing damage and need more extensive repairs. I will follow this closely and keep the monthly report updated. Invoice control is on pages 6-18. The Phase 2 Change Order Log, dated June 25th, 2025, will be a separate attachment.

Progressive Painting has painted up to 903 Elmhurst Cir. They are painting and will catch up with the carpenters within three weeks.

**Budgeting:** The **\$2,530,741.35** invoiced for siding, trim, and fences covers 201 homes, which amounts to \$12,590.75 per home. There will likely be a few more change orders coming in as we complete the last 10 homes. This number will change. These dollar amounts are for budgeting only.

The painters have invoiced **\$398,675.00** for painting 190 homes, at a rate of \$2,075 per home. They have not issued change orders.

Timeline to finish phase 2: CPR will start wrapping up phase 2 in early July. Painting should be completed by the end of July, with touch-ups completed in early August. I will include the final Phase 2 cost in the July report.

## Reeves Construction, Inc.

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## Phase #3.

### New Timeline for Phase #3.

Phase #3 start date, CPR has given us a schedule for phase 3. They will start moving crews to phase 3 on July 1 if not before. The Phase 3 schedule and path of construction are available at the Nepenthe office.

## Trellis's

Many patios have trellises, both attached to the home and free-standing. In years past, the siding and paint crews could get on top of them to work on the homes. Today, most of them are too old and no longer safe to put weight on them. For this reason, our vendor's work crews can no longer access them to work on the homes. For the remainder of Phase Two and Phase Three, we will ask homeowners to remove parts of the trellises so that workers can access the walls of the homes from ladders. Please understand this is for safety reasons. No one has gotten hurt. We will work to keep our job site safe for everyone. Nirmal at the Nepenthe office and I will notify homeowners as soon as possible of any necessary changes to the trellises on their homes, if needed.

If you have any questions, please email Nirmal at [Nirmal.Dhesi@fsresidential.com](mailto:Nirmal.Dhesi@fsresidential.com) and me at [Paul@rcihelps.com](mailto:Paul@rcihelps.com). Thank you for understanding.

Paul Reeves, Project Manager, siding and paint project.

**Reeves Construction, Inc.**

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**Cost Management- Phase #2.**

## Total Contract Amount

| Contractor Code      | Scope                           | Budget Value (\$) | Change Orders Value (\$) | Permits Value (\$) | Invoiced Value (\$)                               | Value Paid (\$)                                   |
|----------------------|---------------------------------|-------------------|--------------------------|--------------------|---------------------------------------------------|---------------------------------------------------|
| CPR Construction     | Original Contract Siding & Trim | \$1,465,021.00    |                          |                    | Includes Change Orders Invoiced<br>\$2,530,741.35 | Includes Change Orders Invoiced<br>\$2,419,661.28 |
| CPR Construction     | Change Orders Siding & Trim     |                   | \$337,262.91             |                    |                                                   |                                                   |
| CPR Construction     | Original Contract Fencing       | \$588,599.00      |                          |                    |                                                   |                                                   |
| CPR Construction     | Change Orders Fencing           |                   | \$183,991.32             |                    |                                                   |                                                   |
| CPR Construction     | Total Retention to date         | \$232,538.11      |                          |                    |                                                   |                                                   |
| CPR Construction     | Total Retention Invoiced        | \$184,467.22      |                          |                    | Included Above                                    | Included Above                                    |
| CPR Construction     | Permits                         |                   |                          | \$33,809.35        | Included Above                                    | Included Above                                    |
| Progressive Painting | Painting Original Contract      | \$439,900.00      |                          |                    | \$398,675.00                                      | \$332,000.00                                      |
|                      | <b>TOTAL PAID TO ALL ABOVE</b>  |                   |                          |                    | Invoiced Value<br>\$2,929,416.35                  | Value Paid<br>\$2,751,661.28                      |

**Reeves Construction, Inc.**

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**Invoice Control Phase #2.**

| Contractor       | Scope                                                       | IN#  | Description                | Value        | Status of Work | Status of Invoice | Status of Payment |
|------------------|-------------------------------------------------------------|------|----------------------------|--------------|----------------|-------------------|-------------------|
| CPR Construction | Mobilization                                                | 1405 | See Details on the invoice | \$205,362.00 | Work Started   | APPROVED          | PAID              |
|                  |                                                             |      |                            |              |                |                   |                   |
| CPR Construction | Siding, trim & Fences                                       | 1427 | See Details on the invoice | \$28,076.49  | COMPLETE       | APPROVED          | PAID              |
|                  |                                                             |      |                            |              |                |                   |                   |
| CPR Construction | Siding, trim & Fences                                       | 1441 | See Details on the invoice | \$36,362.01  | COMPLETE       | APPROVED          | PAID              |
|                  |                                                             |      |                            |              |                |                   |                   |
| CPR Construction | Siding, trim, & Fences<br>Include the first set of permits. | 1445 | See Details on the invoice | \$96,494.49  | COMPLETE       | APPROVED          | PAID              |
|                  |                                                             |      |                            |              |                |                   |                   |
| CPR Construction | Siding, trim & Fences                                       | 1446 | See Details on the invoice | \$50,910.18  | COMPLETE       | APPROVED          | PAID              |
|                  |                                                             |      |                            |              |                |                   |                   |
| CPR Construction | Siding, trim & Fences                                       | 1452 | See Details on the invoice | \$49,865.79  | COMPLETE       | APPROVED          | PAID              |

**Reeves Construction, Inc.**

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| Contractor       | Scope                                                 | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|-------------------------------------------------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
| CPR Construction | Siding, trim, & Fences<br>Include 2 round of permits. | 1457 | See Details on the invoice | \$41,815.12 | COMPLETE       | APPROVED          | PAID              |
|                  |                                                       |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim & Fences                                 | 1459 | See Details on the invoice | \$69,354.89 | COMPLETE       | APPROVED          | PAID              |
|                  |                                                       |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim & Fences                                 | 1466 | See Details on the invoice | \$44,976.34 | COMPLETE       | APPROVED          | PAID              |
|                  |                                                       |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim & Fences                                 | 1473 | See Details on the invoice | \$51,988.37 | COMPLETE       | APPROVED          | PAID              |
|                  |                                                       |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim & Fences                                 | 1478 | See Details on the invoice | \$53,874.70 | COMPLETE       | APPROVED          | PAID              |
|                  |                                                       |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim                                          | 1479 | See Details on the invoice | \$64,548.90 | COMPLETE       | APPROVED          | PAID              |
|                  |                                                       |      |                            |             |                |                   |                   |

**Reeves Construction, Inc.**

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| Contractor       | Scope        | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|--------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
| CPR Construction | Fences       | 1479 | See Details on the invoice | \$19,523.75 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1483 | See Details on the invoice | \$36,395.70 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1484 | See Details on the invoice | \$22,178.57 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1488 | See Details on the invoice | \$38,496.70 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1489 | See Details on the invoice | \$22,669.57 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1496 | See Details on the invoice | \$40,797.52 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1497 | See Details on the invoice | \$11,262.90 | COMPLETE       | APPROVED          | PAID              |

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| Contractor       | Scope        | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|--------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
| CPR Construction | Fences       | 1498 | See Details on the invoice | \$3,050.41  | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1499 | See Details on the invoice | \$8,143.79  | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1501 | See Details on the invoice | \$14,310.92 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1502 | See Details on the invoice | \$15,924.97 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1504 | See Details on the invoice | \$38,769.58 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1505 | See Details on the invoice | \$13,843.41 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1510 | See Details on the invoice | \$61,755.18 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1511 | See Details on the invoice | \$21,635.05 | COMPLETE       | APPROVED          | PAID              |

**Reeves Construction, Inc.**

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| Contractor       | Scope        | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|--------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
| CPR Construction | Siding, trim | 1518 | See Details on the invoice | \$30,885.72 | COMPLETE       | APPROVED          | PAID              |
| CPR Construction | Fences       | 1519 | See Details on the invoice | \$18,375.22 | COMPLETE       | APPROVED          | PAID              |
| CPR Construction | Siding, trim | 1522 | See Details on the invoice | \$45,377.06 | COMPLETE       | APPROVED          | PAID              |
| CPR Construction | Fences       | 1523 | See Details on the invoice | \$15,625.95 | COMPLETE       | APPROVED          | PAID              |
| CPR Construction | Siding, trim | 1524 | See Details on the invoice | \$38,609.16 | COMPLETE       | APPROVED          | PAID              |
| CPR Construction | Siding, trim | 1537 | See Details on the invoice | \$44,168.47 | COMPLETE       | APPROVED          | PAID              |
| CPR Construction | Fences       | 1538 | See Details on the invoice | \$20,296.22 | COMPLETE       | APPROVED          | PAID              |
| CPR Construction | Siding, trim | 1540 | See Details on the invoice | \$31,668.78 | COMPLETE       | APPROVED          | PAID              |

**Reeves Construction, Inc.**

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| Contractor       | Scope        | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|--------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
| CPR Construction | Fences       | 1541 | See Details on the invoice | \$11,074.45 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1546 | See Details on the invoice | \$62,994.27 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1547 | See Details on the invoice | \$16,161.69 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1555 | See Details on the invoice | \$18,304.92 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1556 | See Details on the invoice | \$3,102.53  | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1562 | See Details on the invoice | \$29,992.18 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1563 | Details on invoice         | \$7,004.20  | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1570 | See Details on the invoice | \$28,311.92 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |

**Reeves Construction, Inc.**

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| Contractor       | Scope        | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|--------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
| CPR Construction | Fences       | 1571 | Details on invoice         | \$15,093.07 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1573 | See Details on the invoice | \$28,948.78 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1574 | Details on invoice         | \$12,019.16 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1578 | See Details on the invoice | \$31,658.45 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1579 | Details on invoice         | \$25,974.55 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1584 | See Details on the invoice | \$21,842.89 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1585 | Details on the invoice     | \$23,829.13 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1587 | See Details on the invoice | \$22,830.06 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1588 | Details on the invoice     | \$26,085.73 | COMPLETE       | APPROVED          | PAID              |

**Reeves Construction, Inc.**

Project: Nepenthe Dry Rot and Painting

Phase One 2022-2023-202

Phase Two 2024-2025

Phase Three 2025-2026



| Contractor       | Scope        | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|--------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1591 | See Details on the invoice | \$43,444.21 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1592 | Details on the invoice     | \$8,191.39  | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1593 | See Details on the invoice | \$32,672.31 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1594 | Details on the invoice     | \$20,772.56 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1609 | See Details on the invoice | \$34,397.93 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1610 | See Details on the invoice | \$21,900.09 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1614 | See Details on the invoice | \$35,982.10 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1615 | See Details on the invoice | \$19,303.78 | COMPLETE       | APPROVED          | PAID              |

**Reeves Construction, Inc.**

Project: Nepenthe Dry Rot and Painting

Phase One 2022-2023-202

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Phase Three 2025-2026



| Contractor       | Scope        | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|--------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1616 | See Details on the invoice | \$42,496.39 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1617 | See Details on the invoice | \$17,852.13 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1618 | See Details on the invoice | \$44,181.13 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1619 | See Details on the invoice | \$19,428.16 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1624 | See Details on the invoice | \$37,640.40 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Fences       | 1625 | See Details on the invoice | \$20,700.76 | COMPLETE       | APPROVED          | PAID              |
|                  |              |      |                            |             |                |                   |                   |
| CPR Construction | Siding, trim | 1630 | See Details on the invoice | \$34,048.93 | COMPLETE       | APPROVED          | PENDING           |
|                  |              |      |                            |             |                |                   |                   |
|                  |              |      |                            |             |                |                   |                   |

**Reeves Construction, Inc.**

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| Contractor       | Scope        | IN#  | Description                | Value       | Status of Work | Status of Invoice | Status of Payment |
|------------------|--------------|------|----------------------------|-------------|----------------|-------------------|-------------------|
| CPR Construction | Fences       | 1631 | See Details on the invoice | \$17,309.75 | COMPLETE       | APPROVED          | PENDING           |
| CPR Construction | Siding, trim | 1636 | See Details on the invoice | \$59,721.39 | COMPLETE       | APPROVED          | PENDING           |
| CPR Construction | Fences       | 1637 | See Details on the invoice | \$21,795.84 | COMPLETE       | APPROVED          | PENDING           |
| CPR Construction | Siding, trim | 1638 | See Details on the invoice | \$40,275.25 | COMPLETE       | APPROVED          | PENDING           |
| CPR Construction | Fences       | 1639 | See Details on the invoice | \$17,735.89 | COMPLETE       | APPROVED          | PENDING           |
| CPR Construction | Fences       | 1641 | See Details on the invoice | \$21,038.35 | COMPLETE       | APPROVED          | PENDING           |
| CPR Construction | Siding, trim | 1642 | See Details on the invoice | \$29,280.69 | COMPLETE       | APPROVED          | PENDING           |
| CPR Construction | Fences       | 1650 | See Details on the invoice | \$20,904.43 | COMPLETE       | APPROVED          | PENDING           |

**Reeves Construction, Inc.**

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| Contractor                  | Scope               | IN#           | Description                       | Value              | Status of Work  | Status of Invoice | Status of Payment |
|-----------------------------|---------------------|---------------|-----------------------------------|--------------------|-----------------|-------------------|-------------------|
|                             |                     |               |                                   |                    |                 |                   |                   |
| <b>CPR Construction</b>     | <b>Siding, trim</b> | <b>1650</b>   | <b>See Details on the invoice</b> | <b>\$31,566.30</b> | <b>COMPLETE</b> | <b>APPROVED</b>   | <b>PENDING</b>    |
|                             |                     |               |                                   |                    |                 |                   |                   |
| <b>Progressive Painting</b> | <b>Paint</b>        | <b>#17528</b> | <b>Painting</b>                   | <b>\$26,975.00</b> | <b>COMPLETE</b> | <b>APPROVED</b>   | <b>PAID</b>       |
|                             |                     |               |                                   |                    |                 |                   |                   |
| <b>Progressive Painting</b> | <b>Paint</b>        | <b>#17530</b> | <b>Painting</b>                   | <b>\$16,600.00</b> | <b>COMPLETE</b> | <b>APPROVED</b>   | <b>PAID</b>       |
|                             |                     |               |                                   |                    |                 |                   |                   |
| Contractor                  | Scope               | IN#           | Description                       | Value              | Status of Work  | Status of Invoice | Status of Payment |
|                             |                     |               |                                   |                    |                 |                   |                   |
| <b>Progressive Painting</b> | <b>Paint</b>        | <b>#17537</b> | <b>Painting</b>                   | <b>\$26,975.00</b> | <b>COMPLETE</b> | <b>APPROVED</b>   | <b>PAID</b>       |
|                             |                     |               |                                   |                    |                 |                   |                   |
| <b>Progressive Painting</b> | <b>Paint</b>        | <b>#17540</b> | <b>Painting</b>                   | <b>\$26,975.00</b> | <b>COMPLETE</b> | <b>APPROVED</b>   | <b>PAID</b>       |
|                             |                     |               |                                   |                    |                 |                   |                   |
| Contractor                  | Scope               | IN#           | Description                       | Value              | Status of Work  | Status of Invoice | Status of Payment |
| <b>Progressive Painting</b> | <b>Paint</b>        | <b>#17542</b> | <b>Painting</b>                   | <b>\$16,600.00</b> | <b>COMPLETE</b> | <b>APPROVED</b>   | <b>PAID</b>       |
|                             |                     |               |                                   |                    |                 |                   |                   |
| <b>Progressive Painting</b> | <b>Paint</b>        | <b>#17543</b> | <b>Painting</b>                   | <b>\$20,750.00</b> | <b>COMPLETE</b> | <b>APPROVED</b>   | <b>PAID</b>       |

**Reeves Construction, Inc.**

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| Contractor           | Scope | IN#    | Description | Value       | Status of Work | Status of Invoice | Status of Payment |
|----------------------|-------|--------|-------------|-------------|----------------|-------------------|-------------------|
| Progressive Painting | Paint | #17553 | Painting    | \$18,675.00 | COMPLETE       | APPROVED          | PAID              |
|                      |       |        |             |             |                |                   |                   |
| Progressive Painting | Paint | #17560 | Painting    | \$20,750.00 | COMPLETE       | APPROVED          | PAID              |
|                      |       |        |             |             |                |                   |                   |
| Progressive Painting | Paint | #17562 | Painting    | \$26,975.00 | COMPLETE       | APPROVED          | PAID              |
|                      |       |        |             |             |                |                   |                   |
| Contractor           | Scope | IN#    | Description | Value       | Status of Work | Status of Invoice | Status of Payment |
|                      |       |        |             |             |                |                   |                   |
| Progressive Painting | Paint | #17566 | Painting    | \$41,500.00 | COMPLETE       | APPROVED          | PAID              |
|                      |       |        |             |             |                |                   |                   |
| Progressive Painting | Paint | #17572 | Painting    | \$16,600.00 | COMPLETE       | APPROVED          | PAID              |
|                      |       |        |             |             |                |                   |                   |
| Progressive Painting | Paint | #17578 | Painting    | \$45,650.00 | COMPLETE       | APPROVED          | PAID              |
|                      |       |        |             |             |                |                   |                   |
| Progressive Painting | Paint | #17592 | Painting    | \$26,975    | COMPLETE       | APPROVED          | PAID              |
|                      |       |        |             |             |                |                   |                   |
|                      |       |        |             |             |                |                   |                   |

**Reeves Construction, Inc.**

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Phase One 2022-2023-202

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| Contractor           | Scope | IN#    | Description              | Value          | Status of Work | Status of Invoice | Status of Payment |
|----------------------|-------|--------|--------------------------|----------------|----------------|-------------------|-------------------|
| Progressive Painting | Paint | #17597 | Painting                 | \$29,325.00    | COMPLETE       | APPROVED          | PENDING           |
|                      |       |        |                          |                |                |                   |                   |
| Progressive Painting | Paint | #17605 | Painting                 | \$37,350.00    | COMPLETE       | APPROVED          | PENDING           |
|                      |       |        |                          |                |                |                   |                   |
|                      |       |        | TOTAL APPROVED           | \$2,574,211.53 |                |                   |                   |
|                      |       |        | TOTAL APPROVED, NOT PAID | \$337,232.87   |                |                   |                   |
|                      |       |        | TOTAL PAID               | \$2,236,978.66 |                |                   |                   |

**End Report.**

**Reeves Construction, Inc.**

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**Nepenthe 2 CO Log 6.25.25.pdf**



12394 Cannon Way  
Grass Valley, CA 95949  
(916) 229-2594  
[bill@cprecon.com](mailto:bill@cprecon.com)

Date: June 25, 2025  
Property Name: Nepenthe HOA Phase 2

Contact: Nicole Marks  
Company: First Service Residential

### CHANGE ORDER LOG

| COR #              | LOCATION                                   | PENDING | DECLINED   | APPROVED   | NOTES           |
|--------------------|--------------------------------------------|---------|------------|------------|-----------------|
| COR #01            | 1372 Commons                               |         |            | \$4,621.34 | Fence Repairs   |
| COR #02            | 1366 Commons                               |         |            | \$572.18   | Siding and Trim |
| COR #03            | 1396 Commons                               |         |            | \$3,925.91 | Fence Repairs   |
| COR #04            | 1312 Vanderbilt                            |         |            | \$214.94   | Fence Repairs   |
| COR #05            | 1318 Vanderbilt                            |         |            | \$1,347.23 | Fence Repairs   |
| COR #06            | 1342 Vanderbilt                            |         |            | \$4,542.75 | Fence Repairs   |
| COR #07            | 1336 Commons                               |         |            | \$1,550.63 | Siding and Trim |
| COR #08            | 1318 Vanderbilt                            |         |            | \$165.48   | Siding and Trim |
| COR #09            | 1372 Commons                               |         |            | \$723.51   | Siding and Trim |
| COR #10            | 1396 Commons                               |         |            | \$911.87   | Insulation      |
| COR #11            | 1260 Vanderbilt                            |         |            | \$3,694.34 | Fence Repairs   |
| COR #12            | 1268, 1276, 1284<br>and 1296<br>Vanderbilt |         |            | \$969.42   | Fence Repairs   |
| COR #13            | 1212 Vanderbilt                            |         |            | \$3,752.25 | Fence Repairs   |
| COR #14            | 1251/1257<br>Vanderbilt                    |         |            | \$575.34   | Fence Repairs   |
| COR #15            | 1336/1330<br>Vanderbilt                    |         |            | \$1,340.05 | Fence Repairs   |
| COR #16            | 1268 Vanderbilt                            |         |            | \$2,246.30 | Siding and Trim |
| COR #17            | 1276 Vanderbilt                            |         |            | \$400.90   | Siding and Trim |
| COR #18            | 1284 Vanderbilt                            |         |            | \$352.20   | Siding and Trim |
| COR #19            | 1292 Vanderbilt                            |         |            | \$381.29   | Siding and Trim |
| COR #20            | Multiple<br>Locations                      |         |            | \$4,995.12 | Permits         |
| COR #21            | 1212 Vanderbilt                            |         |            | \$2,055.28 | Siding and Trim |
| COR #22            | 1248 Vanderbilt                            |         |            | \$238.18   | Siding and Trim |
| COR #23            | 1218-1236<br>Vanderbilt                    |         | \$5,453.61 |            | Fence Repairs   |
| COR #23<br>REVISED | 1218-1236<br>Vanderbilt                    |         |            | \$7,326.02 | Fence Repairs   |

|                    |                                                           |  |  |             |                 |
|--------------------|-----------------------------------------------------------|--|--|-------------|-----------------|
| COR #24            | 1218 Vanderbilt                                           |  |  | \$394.19    | Siding and Trim |
| COR #25            | 1224 Vanderbilt                                           |  |  | \$805.63    | Siding and Trim |
| COR #26            | 1230 Vanderbilt                                           |  |  | \$2,181.95  | Siding and Trim |
| COR #27            | 1236 Vanderbilt                                           |  |  | \$2,804.46  | Siding and Trim |
| COR #28            | 1106 and 1112<br>Vanderbilt                               |  |  | \$204.23    | Fence Repairs   |
| COR #29            | 1146, 1152,<br>1158, 1164, 1170<br>and 1176<br>Vanderbilt |  |  | \$14,088.93 | Fence Repairs   |
| COR #30            | 1260 Vanderbilt                                           |  |  | \$354.07    | Siding and Trim |
| COR #31            | 1230-1236<br>Vanderbilt                                   |  |  | \$2,068.15  | Siding and Trim |
| COR #32            | 1130 Vanderbilt                                           |  |  | \$576.42    | Siding and Trim |
| COR #33            | 1118-1136<br>Vanderbilt                                   |  |  | \$6,343.68  | Fence Repairs   |
| COR #34            | 1115 Commons                                              |  |  | \$485.69    | Siding and Trim |
| COR #35            | Multiple<br>Locations                                     |  |  | \$2,708.56  | Permits         |
| COR #36            | 1115 Commons<br>Supplemental                              |  |  | \$733.79    | Siding and Trim |
| COR #37            | 1106 Vanderbilt                                           |  |  | \$560.33    | Siding and Trim |
| COR #38            | 1112 Vanderbilt                                           |  |  | \$599.97    | Siding and Trim |
| COR #39            | 1066 Vanderbilt                                           |  |  | \$1,748.58  | Fence Repairs   |
| COR #40<br>REVISED | 1016 Vanderbilt                                           |  |  | \$106.73    | Fence Repairs   |
| COR #41            | 1056/1046<br>Vanderbilt                                   |  |  | \$2,401.19  | Fence Repairs   |
| COR #42            | 1005 Vanderbilt                                           |  |  | \$7,848.36  | Fence Repairs   |
| COR #43            | 1025 Vanderbilt                                           |  |  | \$6,567.86  | Fence Repairs   |
| COR #44            | 1056 Vanderbilt                                           |  |  | \$734.22    | Fence Repairs   |
| COR #45            | 1056 Vanderbilt                                           |  |  | \$1,126.22  | Siding and Trim |
| COR #46            | 1036 & 1006<br>Vanderbilt                                 |  |  | -\$17.28    | Fence Repairs   |
| COR #47            | 1015 Vanderbilt                                           |  |  | \$845.90    | Siding and Trim |
| COR #48            | 1025 Vanderbilt                                           |  |  | \$957.50    | Siding and Trim |
| COR #49            | 1016 Vanderbilt                                           |  |  | \$503.27    | Siding and Trim |
| COR #50            | 1066 Vanderbilt                                           |  |  | \$527.00    | Siding and Trim |
| COR #51            | 1006 Vanderbilt                                           |  |  | \$641.17    | Siding and Trim |
| COR #52            | 106 Elmhurst                                              |  |  | \$371.81    | Siding and Trim |

|                |                            |  |  |             |                          |
|----------------|----------------------------|--|--|-------------|--------------------------|
| COR #53        | 2315 Swarthmore            |  |  | \$1,722.82  | Siding and Trim          |
| COR #54        | 108 Elmhurst               |  |  | \$855.24    | Siding and Trim          |
| COR #55        | 1025 Vanderbilt Rear Patio |  |  | \$3,066.26  | Fence Repairs            |
| COR #56        | 100 Elmhurst               |  |  | \$7,085.81  | Fence Repairs            |
| COR #57 CREDIT | 102 Elmhurst               |  |  | -\$2,391.81 | Fence Repairs            |
| COR #58        | 104 Elmhurst               |  |  | \$1,317.80  | Fence Repairs            |
| COR #59        | 106 Elmhurst               |  |  | \$312.60    | Fence Repairs            |
| COR #60 CREDIT | 108 Elmhurst               |  |  | -\$3,093.36 | Fence Repairs            |
| COR #61 CREDIT | 200 Elmhurst               |  |  | -\$1,223.69 | Fence Repairs            |
| COR #62        | 1006 Vanderbilt            |  |  | \$1,252.71  | Siding and Trim          |
| COR #63        | 204 Elmhurst               |  |  | \$2,994.48  | Fence Repairs            |
| COR #64        | 1236 Vanderbilt            |  |  | \$317.99    | Fence Repairs            |
| COR #65        | 100 Elmhurst               |  |  | \$598.00    | Siding and Trim          |
| COR #66        | 102 Elmhurst               |  |  | \$346.95    | Siding and Trim          |
| COR #67        | 202 Elmhurst               |  |  | \$1,324.86  | Siding and Trim          |
| COR #68        | 108 Elmhurst               |  |  | \$346.95    | Siding and Trim          |
| COR #69        | 106 Elmhurst               |  |  | \$943.95    | Siding and Trim          |
| COR #70        | 1164 Vanderbilt            |  |  | \$624.66    | Siding and Trim          |
| COR #71        | 200 Elmhurst               |  |  | \$334.38    | Siding and Trim          |
| COR #72        | 204 Elmhurst               |  |  | \$1,625.10  | Siding and Trim          |
| COR #73        | 202 Elmhurst               |  |  | -\$8,119.70 | Credit for Fence Repairs |
| COR #74        | 204 Elmhurst               |  |  | -\$336.80   | Credit for Fence Repairs |
| COR #75        | 206 Elmhurst               |  |  | -\$837.30   | Credit for Fence Repairs |
| COR #76        | Multiple Locations         |  |  | \$4,200.78  | Permits                  |
| COR #77        | 206 Elmhurst               |  |  | \$428.68    | Siding and Trim          |
| COR #78        | 312 Elmhurst               |  |  | \$1,726.88  | Fence Repairs            |
| COR #79        | 314 Elmhurst               |  |  | -\$2,569.58 | Credit for Fence Repairs |
| COR #80        | 316 Elmhurst               |  |  | -\$1,869.81 | Credit for Fence Repairs |

|          |                    |  |  |              |                                       |
|----------|--------------------|--|--|--------------|---------------------------------------|
| COR #81  | 322 Elmhurst       |  |  | -\$2,271.76  | Credit for Fence Repairs              |
| COR #82  | 324 Elmhurst       |  |  | \$1,198.99   | Fence Repairs                         |
| COR #83  | 300 Elmhurst       |  |  | \$601.73     | Siding and Trim                       |
| COR #84  | 304 Elmhurst       |  |  | \$325.27     | Siding and Trim                       |
| COR #85  | 306 Elmhurst       |  |  | \$1,134.83   | Siding and Trim                       |
| COR #86  | 308 Elmhurst       |  |  | \$799.78     | Siding and Trim                       |
| COR #87  | 310 Elmhurst       |  |  | \$1,079.04   | Siding and Trim                       |
| COR #88  | 326 Elmhurst       |  |  | -\$2,905.52  | Credit for Fence Repairs              |
| COR #89  | 404 Elmhurst       |  |  | \$143.44     | Fence Repairs                         |
| COR #90  | 406 Elmhurst       |  |  | -\$3,993.70  | Credit for Fence Repairs              |
| COR #91  | 408 Elmhurst       |  |  | \$1,866.63   | Fence Repairs                         |
| COR #92  | 208 Elmhurst       |  |  | -\$10,057.57 | Credit for Fence Repairs              |
| COR #93  | 210 Elmhurst       |  |  | -\$9,739.59  | Credit for Fence Repairs              |
| COR #94  | 314 Elmhurst Cir.  |  |  | \$1,810.52   | Siding and Trim                       |
| COR #95  | 316 Elmhurst Cir.  |  |  | \$1,316.31   | Siding and Trim                       |
| COR #96  | 318 Elmhurst Cir.  |  |  | \$1,462.97   | Siding and Trim                       |
| COR #97  | 322 Elmhurst Cir.  |  |  | \$1,149.47   | Siding and Trim                       |
| COR #98  | 1025 Vanderbilt    |  |  | \$1,852.22   | Siding and Trim                       |
| COR #99  | 410 Elmhurst Cir.  |  |  | \$765.41     | Fence Repairs                         |
| COR #100 | 326 Elmhurst Cir.  |  |  | \$1,528.28   | Siding and Trim                       |
| COR #101 | 328 Elmhurst Cir.  |  |  | \$406.16     | Siding and Trim                       |
| COR #102 | 400 Elmhurst Cir.  |  |  | \$732.77     | Siding and Trim                       |
| COR #103 | 402 Elmhurst Cir.  |  |  | \$1,065.14   | Siding and Trim                       |
| COR #104 | 1025 Vanderbilt    |  |  | \$386.24     | Siding and Trim                       |
| COR #105 | 406 Elmhurst Cir.  |  |  | \$568.24     | Siding & Trim - Asbestos/Lead Testing |
| COR #106 | 504 Elmhurst Cir.  |  |  | \$3,167.98   | Fence Repairs                         |
| COR #107 | 508 Elmhurst Cir.  |  |  | \$4,158.63   | Fence Repairs                         |
| COR #108 | 1312 Vanderbilt    |  |  | \$568.24     | Siding & Trim - Asbestos/Lead Testing |
| COR #109 | 502 Elmhurst Cir.  |  |  | \$665.50     | Fence Repairs                         |
| COR #110 | 614 Elmhurst Cir.  |  |  | \$2,009.40   | Fence Repairs                         |
| COR #111 | Multiple Locations |  |  | \$4,308.33   | Permits                               |

|          |                    |  |            |             |                 |
|----------|--------------------|--|------------|-------------|-----------------|
| COR #112 | 1312 Vanderbilt    |  | \$4,668.47 |             | Abatement       |
| COR #113 | 406 Elmhurst Cir.  |  | \$3,244.47 |             | Abatement       |
| COR #114 | 604 Elmhurst Cir.  |  |            | \$665.50    | Fence Repairs   |
| COR #115 | 404 Elmhurst Cir.  |  |            | \$6,038.18  | Siding and Trim |
| COR #116 | 408 Elmhurst Cir.  |  |            | \$3,277.55  | Siding and Trim |
| COR #117 | 410 Elmhurst Cir.  |  |            | \$1,858.23  | Siding and Trim |
| COR #118 | 412 Elmhurst Cir.  |  |            | \$358.62    | Siding and Trim |
| COR #119 | 700 Elmhurst       |  |            | \$7,083.65  | Fence Repairs   |
| COR #120 | 702 Elmhurst       |  |            | \$787.26    | Fence Repairs   |
| COR #121 | 704 Elmhurst       |  |            | \$2,121.83  | Fence Repairs   |
| COR #122 | 706 Elmhurst       |  |            | \$3,892.75  | Fence Repairs   |
| COR #123 | 708 Elmhurst       |  |            | \$3,365.44  | Fence Repairs   |
| COR #124 | 712 Elmhurst       |  |            | \$1,427.12  | Fence Repairs   |
| COR #125 | 714 Elmhurst       |  |            | \$2,324.12  | Fence Repairs   |
| COR #126 | 722 Elmhurst       |  |            | \$7,603.42  | Fence Repairs   |
| COR #127 | 720 Elmhurst       |  |            | \$1,161.09  | Fence Repairs   |
| COR #128 | 500 Elmhurst       |  |            | \$698.58    | Siding and Trim |
| COR #129 | 502 Elmhurst       |  |            | \$772.04    | Siding and Trim |
| COR #130 | 504 Elmhurst       |  |            | \$1,318.02  | Siding and Trim |
| COR #131 | 600 Elmhurst       |  |            | \$352.20    | Siding and Trim |
| COR #132 | 602 Elmhurst       |  |            | \$1,197.32  | Siding and Trim |
| COR #133 | 604 Elmhurst       |  |            | \$1,404.38  | Siding and Trim |
| COR #134 | 606 Elmhurst       |  |            | \$1,904.66  | Siding and Trim |
| COR #135 | 608 Elmhurst       |  |            | \$305.66    | Siding and Trim |
| COR #136 | 614 Elmhurst       |  |            | \$2,199.59  | Siding and Trim |
| COR #137 | 800 Elmhurst       |  |            | \$5,645.18  | Fence Repairs   |
| COR #138 | 808 Elmhurst       |  |            | \$1,409.09  | Fence Repairs   |
| COR #139 | 13 Colby Ct.       |  |            | \$11,103.52 | Siding and Trim |
| COR #140 | 13 Colby Ct.       |  |            | \$6,185.96  | Fence Repairs   |
| COR #141 | Multiple Locations |  |            | \$4,184.99  | Permits         |
| COR #142 | 810 Elmhurst       |  |            | \$617.52    | Fence Repairs   |
| COR #143 | 814 Elmhurst       |  |            | \$2,344.40  | Fence Repairs   |
| COR #144 | 1420 Commons       |  |            | -\$3,093.36 | Fence Repairs   |
| COR #145 | 610 Elmhurst       |  |            | \$8,137.98  | Siding and Trim |
| COR #146 | 13 Colby Ct.       |  |            | \$930.80    | Siding and Trim |

|          |                 |  |  |            |                 |
|----------|-----------------|--|--|------------|-----------------|
| COR #147 | 616 Elmhurst    |  |  | \$1,225.03 | Siding and Trim |
| COR #148 | 618 Elmhurst    |  |  | \$650.54   | Siding and Trim |
| COR #149 | 506 Elmhurst    |  |  | \$620.81   | Siding and Trim |
| COR #150 | 406 Elmhurst    |  |  | \$1,713.94 | Siding and Trim |
| COR #151 | 702 Elmhurst    |  |  | \$1,428.09 | Siding and Trim |
| COR #152 | 700 Elmhurst    |  |  | \$3,235.47 | Siding and Trim |
| COR #153 | 704 Elmhurst    |  |  | \$2,902.81 | Siding and Trim |
| COR #154 | 706 Elmhurst    |  |  | \$1,717.71 | Siding and Trim |
| COR #155 | 710 Elmhurst    |  |  | \$1,101.51 | Siding and Trim |
| COR #156 | 712 Elmhurst    |  |  | \$2,744.74 | Siding and Trim |
| COR #157 | 714 Elmhurst    |  |  | \$3,179.13 | Siding and Trim |
| COR #158 | 716 Elmhurst    |  |  | \$2,333.85 | Siding and Trim |
| COR #159 | 718 Elmhurst    |  |  | \$790.60   | Siding and Trim |
| COR #160 | 720 Elmhurst    |  |  | \$1,477.84 | Siding and Trim |
| COR #161 | 722 Elmhurst    |  |  | \$1,701.42 | Siding and Trim |
| COR #162 | 800 Elmhurst    |  |  | \$1,452.30 | Siding and Trim |
| COR #163 | 804 Elmhurst    |  |  | \$2,850.79 | Siding and Trim |
| COR #164 | 802 Elmhurst    |  |  | \$2,223.46 | Siding and Trim |
| COR #165 | 806 Elmhurst    |  |  | \$1,751.18 | Siding and Trim |
| COR #166 | 808 Elmhurst    |  |  | \$1,391.35 | Siding and Trim |
| COR #167 | 810 Elmhurst    |  |  | \$1,504.60 | Siding and Trim |
| COR #168 | 1402 Commons    |  |  | \$4,173.38 | Fence Repairs   |
| COR #169 | 1317 Vanderbilt |  |  | \$961.48   | Fence Repairs   |
| COR #170 | 812 Elmhurst    |  |  | \$4,152.15 | Siding and Trim |
| COR #171 | 814 Elmhurst    |  |  | \$3,807.55 | Siding and Trim |
| COR #172 | 808 Elmhurst    |  |  | \$176.00   | Siding and Trim |
| COR #173 | 816 Elmhurst    |  |  | \$2,308.88 | Siding and Trim |
| COR #174 | 818 Elmhurst    |  |  | \$1,720.15 | Siding and Trim |
| COR #175 | 820 Elmhurst    |  |  | \$6,075.71 | Siding and Trim |
| COR #176 | 1426 Commons    |  |  | \$2,217.51 | Siding and Trim |
| COR #177 | 1428 Commons    |  |  | \$2,343.87 | Siding and Trim |
| COR #178 | 806 Elmhurst    |  |  | \$541.73   | Siding and Trim |
| COR #179 | 1408 Commons    |  |  | \$5,093.82 | Fence Repairs   |
| COR #180 | 1406 Commons    |  |  | \$961.48   | Fence Repairs   |
| COR #181 | 1400 Commons    |  |  | \$1,260.17 | Siding and Trim |
| COR #182 | 1404 Commons    |  |  | \$736.11   | Siding and Trim |

|          |                    |  |          |              |                          |
|----------|--------------------|--|----------|--------------|--------------------------|
| COR #183 | 1406 Commons       |  |          | \$2,152.18   | Siding and Trim          |
| COR #184 | 1408 Commons       |  |          | \$656.33     | Siding and Trim          |
| COR #185 | 1410 Commons       |  |          | \$2,084.34   | Siding and Trim          |
| COR #186 | 1420 Commons       |  |          | \$435.35     | Siding and Trim          |
| COR #187 | 1131 Vanderbilt    |  |          | \$2,255.49   | Fence Repairs            |
| COR #188 | 719 Dunbarton      |  | \$590.20 |              | Siding (done by roofers) |
| COR #189 | 1119 Vanderbilt    |  |          | \$641.32     | Fence Repairs            |
| COR #190 | 1125 Vanderbilt    |  |          | \$5,465.24   | Fence Repairs            |
| COR #191 | 1311 Vanderbilt    |  |          | \$8,000.32   | Siding and Trim          |
| COR #192 | 1317 Vanderbilt    |  |          | \$3,074.88   | Siding and Trim          |
| COR #193 | 1323 Vanderbilt    |  |          | \$2,659.89   | Siding and Trim          |
| COR #194 | 1329 Vanderbilt    |  |          | \$848.45     | Siding and Trim          |
| COR #195 | 1335 Vanderbilt    |  |          | \$2,120.83   | Siding and Trim          |
| COR #196 | 1287 Vanderbilt    |  |          | \$1,006.95   | Siding and Trim          |
| COR #197 | 1293 Vanderbilt    |  |          | \$2,871.58   | Siding and Trim          |
| COR #198 | 1299 Vanderbilt    |  |          | \$2,649.48   | Siding and Trim          |
| COR #199 | 1305 Vanderbilt    |  |          | \$2,142.45   | Siding and Trim          |
| COR #200 | Multiple Locations |  |          | \$5,394.08   | Permits                  |
| COR #201 | 1045 Vanderbilt    |  |          | \$4,940.35   | Fence Repairs            |
| COR #202 | 1065 Vanderbilt    |  |          | \$6,176.86   | Fence Repairs            |
| COR #203 | 716 Elmhurst       |  |          | \$733.91     | Siding and Trim          |
| COR #204 | 1119 Vanderbilt    |  |          | \$1,549.52   | Siding and Trim          |
| COR #205 | 1125 Vanderbilt    |  |          | \$2,545.96   | Siding and Trim          |
| COR #206 | 1131 Vanderbilt    |  |          | \$2,210.46   | Siding and Trim          |
| COR #207 | 1137 Vanderbilt    |  |          | \$744.53     | Siding and Trim          |
| COR #208 | 1143 Vanderbilt    |  |          | \$369.65     | Siding and Trim          |
| COR #209 | 1185 Vanderbilt    |  |          | \$1,023.98   | Siding and Trim          |
| COR #210 | 1191 Vanderbilt    |  |          | \$961.99     | Siding and Trim          |
| COR #211 | 1197 Vanderbilt    |  |          | \$1,222.62   | Siding and Trim          |
| COR #212 | 1203 Vanderbilt    |  |          | \$3,557.98   | Siding and Trim          |
| COR #213 | 810 Elmhurst       |  |          | \$1,357.16   | Fence Repairs            |
| COR #214 | 217 Elmhurst       |  |          | \$4,370.81   | Fence Repairs            |
| COR #215 | 201 Elmhurst       |  |          | -\$10,447.10 | Fence Repairs            |
| COR #216 | 1101 Vanderbilt    |  |          | \$4,567.88   | Siding and Trim          |
| COR #217 | 1107 Vanderbilt    |  |          | \$5,791.68   | Siding and Trim          |
| COR #218 | 1113 Vanderbilt    |  |          | \$669.49     | Siding and Trim          |

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|----------|-----------------------|--|--|-------------|---------------------------|
| COR #219 | 719 Dunbarton         |  |  | \$225.00    | Paint Gutter              |
| COR #220 | 505 Elmhurst          |  |  | \$4,618.61  | Fence Repairs             |
| COR #221 | 507 Elmhurst          |  |  | \$6,054.54  | Fence Repairs             |
| COR #222 | 509 Elmhurst          |  |  | \$5,510.90  | Fence Repairs             |
| COR #223 | 1045 Vanderbilt       |  |  | \$325.27    | Siding and Trim           |
| COR #224 | 1055 Vanderbilt       |  |  | \$918.05    | Siding and Trim           |
| COR #225 | 1065 Vanderbilt       |  |  | \$701.35    | Siding and Trim           |
| COR #226 | 1071 Vanderbilt       |  |  | \$1,153.05  | Siding and Trim           |
| COR #227 | 1077 Vanderbilt       |  |  | \$928.07    | Siding and Trim           |
| COR #228 | 1083 Vanderbilt       |  |  | \$583.02    | Siding and Trim           |
| COR #229 | 810 Elmhurst          |  |  | \$262.69    | Fence Repairs             |
| COR #230 | 213 Elmhurst          |  |  | \$4,618.61  | Fence Repairs             |
| COR #231 | 1293/99<br>Vanderbilt |  |  | \$2,612.17  | Fence Repairs             |
| COR #232 | 613 Elmhurst          |  |  | \$4,768.54  | Fence Repairs             |
| COR #233 | 203 Elmhurst          |  |  | \$1,732.79  | Siding and Trim           |
| COR #234 | 205 Elmhurst          |  |  | \$1,670.14  | Siding and Trim           |
| COR #235 | 207 Elmhurst          |  |  | \$2,352.96  | Siding and Trim           |
| COR #236 | 215 Elmhurst          |  |  | \$850.15    | Siding and Trim           |
| COR #237 | 217 Elmhurst          |  |  | \$938.66    | Siding and Trim           |
| COR #238 | 219 Elmhurst          |  |  | \$3,560.68  | Siding and Trim           |
| COR #239 | 509 Elmhurst          |  |  | \$1,011.84  | Fence Repairs             |
| COR #240 | 209 Elmhurst          |  |  | \$887.37    | Siding and Trim           |
| COR #241 | 211 Elmhurst          |  |  | \$1,489.97  | Siding and Trim           |
| COR #242 | 213 Elmhurst          |  |  | \$1,399.82  | Siding and Trim           |
| COR #243 | 501 Elmhurst          |  |  | -\$2,890.15 | Fence Credit              |
| COR #244 | 609 Elmhurst          |  |  | \$6,321.48  | Fence Repairs             |
| COR #245 | 603 Elmhurst          |  |  | \$2,381.96  | Fence Repairs             |
| COR #246 | 213 Elmhurst          |  |  | \$912.71    | Siding and Trim (Trellis) |
| COR #247 | 501 Elmhurst          |  |  | \$2,161.23  | Siding and Trim           |
| COR #248 | 503 Elmhurst          |  |  | \$1,636.59  | Siding and Trim           |
| COR #249 | 505 Elmhurst          |  |  | \$3,733.67  | Siding and Trim           |
| COR #250 | 703 Elmhurst          |  |  | \$3,732.92  | Fence Repairs             |
| COR #251 | 705 Elmhurst          |  |  | \$6,150.51  | Fence Repairs             |
| COR #252 | 709 Elmhurst          |  |  | \$3,451.14  | Fence Repairs             |
| COR #253 | 711 Elmhurst          |  |  | \$6,816.00  | Fence Repairs             |
| COR #254 | 901 Vanderbilt        |  |  | \$8,741.24  | Fence Repairs             |

|                     |                         |  |            |             |                           |
|---------------------|-------------------------|--|------------|-------------|---------------------------|
| COR #255            | 700 Elmhurst            |  |            | \$211.20    | Siding and Trim (Trellis) |
| COR #256            | 1107 Vanderbilt         |  |            | \$1,250.13  | Siding and Trim           |
| COR #257            | 406 Elmhurst            |  |            | \$211.20    | Siding and Trim (Trellis) |
| COR #258            | 722 Elmhurst            |  |            | \$211.20    | Siding and Trim (Trellis) |
| COR #259            | 507 Elmhurst            |  |            | \$570.34    | Siding and Trim           |
| COR #260            | 509 Elmhurst            |  |            | \$6,400.77  | Siding and Trim           |
| COR #261            | 601 Elmhurst            |  |            | \$4,787.95  | Siding and Trim           |
| COR #262            | 603 Elmhurst            |  |            | \$6,144.69  | Siding and Trim           |
| COR #263            | 605 Elmhurst            |  |            | \$3,438.68  | Siding and Trim           |
| COR #264            | 607 Elmhurst            |  |            | \$2,046.06  | Siding and Trim           |
| COR #265            | 609 Elmhurst            |  |            | \$3,650.70  | Siding and Trim           |
| COR #266            | 611 Elmhurst            |  |            | \$1,000.14  | Siding and Trim           |
| COR #267            | 613 Elmhurst            |  |            | \$6,222.48  | Siding and Trim           |
| COR #268            | 2326<br>Swarthmore      |  |            | \$8,160.50  | Siding and Trim           |
| COR #269            | 2326<br>Swarthmore      |  |            | \$835.75    | Fence Repairs             |
| COR #270<br>CREDIT  | 903 Vanderbilt          |  |            | -\$1,378.82 | Fence Repairs CREDIT      |
| COR #271            | Multiple<br>Locations   |  | \$5,791.17 |             | Permits                   |
| COR #271<br>REVISED | Multiple<br>Locations   |  |            | \$8,017.49  | Permits                   |
| COR #272            | 701 Elmhurst            |  |            | \$4,042.76  | Siding and Trim           |
| COR #273            | 703 Elmhurst            |  |            | \$5,456.12  | Siding and Trim           |
| COR #274            | 705 Elmhurst            |  |            | \$4,383.08  | Siding and Trim           |
| COR #275            | 1209/1211<br>Vanderbilt |  |            | \$2,046.01  | Fence Repairs             |
| CREDIT COR<br>#276  | 1213 Vanderbilt         |  |            | -\$3,053.11 | Fence Repairs CREDIT      |
| CREDIT COR<br>#277  | 1215 Vanderbilt         |  |            | -\$2,805.32 | Fence Repairs CREDIT      |
| COR #278            | 1263 Vanderbilt         |  |            | \$3,664.16  | Fence Repairs             |
| CREDIT COR<br>#279  | 1207 Vanderbilt         |  |            | -\$3,053.11 | Fence Repairs CREDIT      |
| COR #280            | 1311 Vanderbilt         |  |            | \$875.32    | Siding and Trim           |
| COR #281            | 213 Elmhurst            |  | \$1,054.16 |             | Trellis Repairs           |
| COR #282            | 1275 Vanderbilt         |  |            | \$357.80    | Fence/Gate Repair         |
| COR #283            | 707 Elmhurst            |  |            | \$4,912.13  | Siding and Trim           |
| COR #284            | 709 Elmhurst            |  |            | \$4,188.48  | Siding and Trim           |
| COR #285            | 711 Elmhurst            |  |            | \$4,546.46  | Siding and Trim           |
| COR #286            | 901 Elmhurst            |  |            | \$3,083.23  | Siding and Trim           |

|                                       |                        |                    |                    |                       |                             |
|---------------------------------------|------------------------|--------------------|--------------------|-----------------------|-----------------------------|
| COR #287                              | 903 Elmhurst           |                    |                    | \$2,624.50            | Siding and Trim             |
| COR #288                              | 1245 Vanderbilt        |                    |                    | \$3,304.21            | Siding and Trim             |
| COR #289                              | 1251 Vanderbilt        |                    |                    | \$6,249.55            | Siding and Trim             |
| COR #290                              | 1257 Vanderbilt        |                    |                    | \$5,698.77            | Siding and Trim             |
| COR #291                              | 1263 Vanderbilt        |                    |                    | \$257.85              | Siding and Trim             |
| <b>COR #292</b>                       | <b>1269 Vanderbilt</b> | <b>\$2,280.07</b>  |                    |                       | <b>Siding and Trim</b>      |
| <b>COR #293</b>                       | <b>1275 Vanderbilt</b> | <b>\$1,735.14</b>  |                    |                       | <b>Siding and Trim</b>      |
| <b>COR #294</b>                       | <b>1281 Vanderbilt</b> | <b>\$3,461.38</b>  |                    |                       | <b>Siding and Trim</b>      |
| <b>COR #295</b>                       | <b>1227 Vanderbilt</b> | <b>\$839.35</b>    |                    |                       | <b>Fence Repairs</b>        |
| <b>COR #296</b>                       | <b>1229 Vanderbilt</b> | <b>\$7,088.10</b>  |                    |                       | <b>Fence Repairs</b>        |
| <b>COR #297</b>                       | <b>1281 Vanderbilt</b> | <b>-\$326.57</b>   |                    |                       | <b>CREDIT Fence Repairs</b> |
| <b>COR #298</b>                       | <b>1211 Vanderbilt</b> | <b>\$1,413.62</b>  |                    |                       | <b>Siding and Trim</b>      |
| <b>COR #299</b>                       | <b>1213 Vanderbilt</b> | <b>\$1,346.04</b>  |                    |                       | <b>Siding and Trim</b>      |
| <b>COR #300</b>                       | <b>505 Elmhurst</b>    | <b>\$440.24</b>    |                    |                       | <b>Siding and Trim</b>      |
|                                       |                        |                    |                    |                       |                             |
|                                       |                        |                    |                    |                       |                             |
| <b>TOTALS</b>                         |                        | <b>\$18,277.37</b> | <b>\$20,802.08</b> | <b>\$555,063.58</b>   |                             |
| <b>TOTAL ORIGINAL CONTRACT AMOUNT</b> |                        |                    |                    | <b>\$2,053,620.00</b> |                             |
| <b>TOTAL ADJUSTED CONTRACT AMOUNT</b> |                        |                    |                    | <b>\$2,608,683.58</b> |                             |

***APPROVED FENCE AND SIDING AND TRIM***

|                              |                       |
|------------------------------|-----------------------|
| <b>Fence C/O's</b>           | <b>\$183,991.32</b>   |
| <b>Siding and Trim C/O's</b> | <b>\$337,262.91</b>   |
| <b>Permits</b>               | <b>\$33,809.35</b>    |
| <b>Grand Total Repairs</b>   | <b>\$2,608,683.58</b> |

**2025-06-05 ARC Minutes.docx**

**NEPENTHE ARCHITECTURAL REVIEW COMMITTEE MINUTES**  
**June 5, 2024**  
**4:30 P.M.**

**Meeting began** at 4:30 pm.

**Members present:** Alan Watters, Allen Davenport, Paul Serafimidis.

**Also present:** Ricardo Pineda, Board Liaison.

**A. Introductions:** Introduction and welcome of new Board Liaison.

**B.1. Homeowner requests not voted on:** none.

**B.2. Homeowner Requests Recommended to be Approved:** (With conditions if so noted; with all votes unanimous unless otherwise noted.)

1. **1077 Vanderbilt Way -- Patio hardscape replacement:** In this 5000 model, the original aggregate concrete patio was to be replaced with new poured, stamped concrete hardscape. Installed on May 26, 2025. The homeowner has noted in a supplement that the correct 2% surface slope of the hardscape was to be maintained. Four downspouts received buried extensions that tie together and drain under the backyard fence, emptying into a mulched common area on the alley, which is acceptable. The contractor was to be Tomas Gonzalez of Tomas' Concrete. Voting was conducted by email with two votes in favor and one vote not to approve by June 10, 2025. **Approval Recommended.**
  
2. **1003 Dunbarton Circle -- Patio hardscape installation** in this 5500 model: Requested is permission to add additional flagstone hardscape. The original aggregate concrete patio slabs will remain unchanged. An irregular row or "path" of flagstones is current placed just north of the patio. More flagstones will be set in a sand bedding layer secured with resin-based joint stabilizer. The plan is to place another section of non-touching flagstones north of the current row, so that it will fill the area between the existing flagstones and the yard's border, the south exterior wall of 1001 Dunbarton (refer to contractor's diagram in application). The flagstones will have 18" of space between them and the wall to the north and section of fence to the west. There may be two moveable planters in the NW corner of this area, but as they are moveable, they will not interfere with future siding maintenance. Because the flagstones will not be touching and will have a sand bedding layer in between them, water will be able to drain immediately into the earth. This soil area is slightly raised, compared to that of the height of the patio, so rain runoff already drains towards this lower area concrete patio and walkway to the gate and then runs out under the gate and fence to the common area adjacent to the alley. Additionally, there is a drain currently next to the edge of the patio to help drain water

away. The contractor believes this existing drainage method will be adequate. The contractor is to be SD Professional Landscape. Voting was conducted by email with all members in favor by June 10, 2025. **Approval Recommended.**

3. **804 Elmhurst Circle -- Patio hardscape installation** in this 5500A model: Requested are a new area of concrete patio and buried drain extensions and drains. Part of the goal is to remedy this backyard's existing drainage problem, where water pools along the south and west garage wall foundations. Also, the existing buried downspout extension on the south façade needs either to be cleaned out or replaced. The original aggregate concrete patio slabs will remain. An open area between the aggregate slab and the den exterior wall, and joints between these slabs were filled with brick; the brick will be removed and replaced with concrete. A new concrete slab will be built in the SE corner of the backyard on top of what was planted soil. The new slab will slope 2% to the east toward the fence and alley beyond it and will have a brushed finish. The new slab will have about 18" of clearance between it and the south and east fences, with these areas left open for planting. Two French drains with catch basins will be installed on the south and west wall of the garage and will have buried connecting drains; this will remedy the standing water in these areas. Buried downspout extensions and new drain lines will tie together to carry rainwater eastward, running underground on the south side of the sidewalk, to the common area where the drain will emerge among planted bushes along the alley. The contractor is to be Tony Dominguez of AD Landscape, Inc. Voting was conducted by email with all members in favor by June 12, 2025. **Approval Recommended.**
4. **804 Elmhurst Circle -- Shade Structure.** Requested is a shade sail that will hang horizontally between the exterior walls of the dining room and the garage. The sail is to be a Colourtree 14' x 18' Beige Rectangle Sun Shade Sail (available from Home Depot) with 190 GSM polyethylene fabric, which is water permeable so that rainwater will not collect in this sail. The bolts will go into the wooden trim pieces or siding-covered structural members and will be sealed against moisture. The sail will be taken down in the rainy season. The homeowner is to select a contractor. Voting was conducted by email with all members in favor by June 16, 2025. **Approval Recommended.**
5. **1170 Vanderbilt Way -- Shade sail,** already installed, in this 3000 model. A violation was recorded: A sunshade sail of size 18' x 18' was installed so that its upper end was mounted onto the second story of the rear façade. The owner has stated that this shade is temporary and hence is removeable; moreover, her handyman will remount the attachment points on the rear façade to just under the flashing plate line and above the kitchen and bedroom windows; the other end of the sail, to the west, will remain mounted to either side of the garage below its roof. The product is a Tang Waterproof outdoor canopy UV-block shade cloth with curved edge, of polyester material, in color beige (as available from Amazon.com). Voting was conducted by email with all members in favor by June 10, 2025. **Approval Recommended with Conditions: that the east end**

affixed to the residence will have the attachment bolts relocated as described and that the four bolts in use and the two remaining holes will be sealed against water intrusion.

#### **B.2.A. Homeowner Requests Approved via Emergency Approvals:**

- 6. 2 Adelphi Court – HVAC system replacement.** Emergency replacement of the HVAC system is requested for this 1776 model. Installed will be a Goodman 3.5-Ton, 14.3 SEER Heat Pump Condenser split-installation heat pump and an air handler, along with the replacement of other system components. The outdoor heat pump condenser is to remain in the same location. No new refrigerant line set piping is needed, nor does any new wiring need be run from attic to ground. The contractor is to be SV Construction. A City permit is required. All committee members voted yes by June 11, 2025. **Emergency Approval granted June 11, 2025.**
- 7. 1371 Commons Drive -- HVAC system replacement.** Emergency replacement of the HVAC system is requested for this 5500 model. Installed will be a Goodman 4-Ton, 14 SEER Condenser and a Goodman furnace, along with the replacement of other system components. The outdoor condenser is to remain in the same location. No new refrigerant line set piping is needed, nor does any new wiring need be run from attic to ground. The contractor is to be LJ Heating and Air Conditioning, Inc. A City permit is required. All committee members voted yes by June 12, 2025. **Emergency Approval granted June 11, 2025.**
- 8. 708 Dunbarton Circle -- HVAC system replacement.** Emergency replacement of the HVAC system is requested for this 2200 model. Installed will be an IDS Light BOVA 36-RXB-M15S 14.3 SEER heat pump and an IDS Light BIVA 36-RXB-M15X air handler, along with new ducting and replacement of other system components. The outdoor condenser is to remain in the same location. No new refrigerant line set piping is needed. New wiring in conduit to power the heat strips in the air handler needs to be run from attic to ground; this can be installed within the wall if the homeowner and contractor coordinate with Nepenthe's own siding contractor. New condensate lines will be installed in the attic only and will be connected to those lines existing within the wall. The contractor is to be Michael Jessip of Brower Mechanical. A City permit is required. All committee members voted yes by June 16, 2025. **Emergency Approval with Conditions granted June 16, 2025: that the homeowner see that the new wiring in conduit to power the heat strips be installed inside the exterior wall and use Nepenthe's own siding contractor to remove and replace the siding panels.**

#### **B.2.B. Homeowner Requests Not Recommended for Approval:**

9. **1111 Commons Drive.** HVAC replacement: Expired. More than one and a half years ago this home's HVAC system was replaced without application or approval. A refrigerant line set was installed on top of the siding from ground to attic on the west façade. A violation process began, and the homeowner had that line set piping installed inside the wall, as Nepenthe's rules call for. Management has asked the homeowner and ARC to approve the HVAC installation. To do so, the ARC needs documentation of what hardware components of the HVAC installation were installed, such as a contractor's estimate or specifications page. The ARC chair has explained and asked for this, as has the Assistant Manager, who offered to review all pertinent pages, but no so documentation has been received. This application has expired. **No vote taken.**

**C. Old Business:** Revised ARC documents expected to be approved by Board at July meeting.

**D. New Business:** None.

**E. Estoppel Inspections:** Several inspections were conducted.

**F. Notices of Completion:** Some signed.

Meeting was adjourned at 5:17 pm.

Respectfully submitted, Alan Watters, acting chair

## **Committee Application - Jane Brown - Arch.pdf**



**Nepenthe Committee / Volunteer Application  
with Conflict of Interest Policy Acknowledgement**

**Contact Information:**

Date: 6/4/2025  
Name: JANE BROWN  
Address: 814 ELMHURST CIRCLE  
Committee applying for: ARCHITECTURAL COMMITTEE  
Phone Number: 916-267-5263  
E-Mail Address: JBROWN916@COMCAST.NET

**Contributions:**

How would you like to contribute to this committee?

I'VE BEEN A HOMEOWNER FOR OVER 50 YEARS AND HAVE EXPERIENCE  
WITH MULTIPLE HOME CONSTRUCTION, DESIGN AND MANAGEMENT.  
I'M A RETIRED CERTIFIED RESIDENTIAL REAL ESTATE APPRAISER.

**Committees**

If there is no room on the committee of your choice, would you be willing to serve on another committee?  
If so, which one?

Architectural ☒

Outreach ☐

Nominating ☐

Insurance, Legal & Safety ☐

Election ☐

Finance ☐

Grounds ☐

☐

**Volunteer Only:**

☐ I would like to be contacted to help with one-time events or short-term projects as needed.

Other ways I would like to volunteer are:

JB By providing your initials in this box, you agree that you have read, understand and will abide by the following:

Acknowledgement of Conflict of Interest Policy: The applicant hereby acknowledges that he or she has read the Nepenthe Conflict of Interest Policy, has had an opportunity to ask any questions the he or she may have about the policy, and understands and agrees to comply with the policy.

Please return completed form with Acknowledgement of Conflict of Interest Policy to 1131 Commons Drive, Sacramento Ca 95825.

## **Committee App - Maggie Ward - Grounds and Outreach.pdf**



**Nepenthe Committee / Volunteer Application  
with Conflict of Interest Policy Acknowledgement**

**Contact Information:**

Date: June 20, 2025  
 Name: Maggie Ward  
 Address: 2330 SWARTHMORE DR.  
 Committee applying for: Outreach and Grounds  
 Phone Number: 916 - 715 - 3163  
 E-Mail Address: mmward1981@comcast.net

**Contributions:**

How would you like to contribute to this committee?

*After living in Campus Commons for several years I feel it is time for me to get Active in the community. I am a former Activity Director at a Middle School And Am very*

*Familiar with social Activities And planning events. I am also very interested in the upkeep of our outdoor community*  
 If there is no room on the committee of your choice, would you be willing to serve on another committee? *it needs some care.*  
 If so, which one?

Architectural ☐

Outreach ☒

Nominating ☐

Insurance, Legal & Safety ☐

Election ☐

Finance ☐

Grounds ☒

☐

**Volunteer Only:**

☐ I would like to be contacted to help with one-time events or short-term projects as needed.

Other ways I would like to volunteer are:

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## **ILS Committee Meeting minutes 6-8-2025.docx**

## ILS Committee Meeting Minutes

Date: June 8, 2025  
Time: 5:33 p.m.  
Attendees: Jackie Grebitus, Chair-person  
Leslie Arnal, Member  
Pam Dimaggio, Member  
Brian Coates, Board liaison  
Ann Pasiuk, guest  
William Newbill, guest  
Roy Hui, guest

1. **Spa Incursions:** The committee reviewed the committee's previous recommendations regarding fencing changes. **The committee and board liaison agree that it would be helpful to have First Services have a fencing company look at our fencing and make recommendations.** (Post meeting, Jackie reported that Nicole will have JWS come out.)

The committee is still in favor of determining exactly how and when the incursions occur. **The committee continues to request that it receive a monthly report from First Services about each incursion, including pool location, date, time and whether there is any evidence of how the incursion occurred.** Pam was advised that our pool contractor might have some information. She will talk to him. (Post meeting, Jackie reported that the front office will get us reports.)

2. HOA insurance quotes: The board liaison reports that First Services is actively pursuing insurance quotes.
3. **Question re Howe Avenue Berm:** The HOA had previously asked whether the HOA had sent a letter to the fire department to ask them to review the berm situation. Has First Services contacted the fire department directly to have the fire department determine what represents a fire hazard? Maybe the local fire station personnel can look at it and recommend the appropriate maintenance. **If the fire department declines to inspect and/or cannot coordinate appropriate maintenance of city owned property, then the committee recommends that the HOA write a letter to Councilman Guerra.**
4. Open issues: Leslie promises to review a year's worth of minutes to arrive at a list of open issues needing follow up.
5. Date of meeting: The committee members agree to change the ILS meeting dates to the 2<sup>nd</sup> Wednesday of the month at 5:30, starting July 9.

6:25 p.m. end of meeting. Next meeting is scheduled for July 9, 2025 at 5:30 p.m.

## **Committee Application - Roy Hui - ILS.pdf**



NEPENTHE

## Nepenthe Committee / Volunteer Application with Conflict of Interest Policy Acknowledgement

### Contact Information:

Date:

Name:

Address:

Committee applying for:

Phone Number:

E-Mail Address:

### Contributions:

How would you like to contribute to this committee?

I am interested in contributing to our community by understanding, investigating and resolving issues related to insurance and safety. I'll leave the legal stuff to attorneys.

### Committees

If there is no room on the committee of your choice, would you be willing to serve on another committee?  
If so, which one?

Architectural ☐

Outreach ☐

Nominating ☐

Insurance, Legal & Safety ☐

Election ☐

Finance ☐

Grounds ☐

☐

### Volunteer Only:

☐ I would like to be contacted to help with one-time events or short-term projects as needed.

Other ways I would like to volunteer are:

☒ By providing your initials in this box, you agree that you have read, understand and will abide by the following:

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## **Committee Application - Nancy Arndorfer - ILS.pdf**



**Nepenthe Committee / Volunteer Application  
with Conflict of Interest Policy Acknowledgement**

**Contact Information:**

Date: June 11, 2015  
Name: Nancy Arndorfer  
Address: 704 Dunbarton Circle  
Committee applying for: Architectural  
Phone Number: 916-838-1763  
E-Mail Address: NArndorfer@gmail.com

**Contributions:**

How would you like to contribute to this committee?

I have been a Realtor for 46 years

**Committees**

If there is no room on the committee of your choice, would you be willing to serve on another committee?  
If so, which one?

|               |                                     |                           |                                     |
|---------------|-------------------------------------|---------------------------|-------------------------------------|
| Architectural | <input checked="" type="checkbox"/> | Outreach                  | <input type="checkbox"/>            |
| Nominating    | <input type="checkbox"/>            | Insurance, Legal & Safety | <input checked="" type="checkbox"/> |
| Election      | <input type="checkbox"/>            | Finance                   | <input type="checkbox"/>            |
| Grounds       | <input type="checkbox"/>            |                           | <input type="checkbox"/>            |

**Volunteer Only:**

☒ I would like to be contacted to help with one-time events or short-term projects as needed.

Other ways I would like to volunteer are:

Whenever needed

☒ By providing your initials in this box, you agree that you have read, understand and will abide by the following:

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## **FINAL June 19 Grounds Committee Meeting Minutes .p.pdf**

## Grounds Committee Meeting Minutes

June 19, 2025

### ATTENDEES

Mary Gray, Chair

Jane Brown

Paula Connors

Don Ellwanger

Rick Lawrance

Theresa McCrackin

Board Liaison: Courtenay Delfin; Nepenthe staff: Trevon McCrea

Homeowners: Linda Cook, Beverly Fine; Attending on zoom: Karen Lowrey

### AGENDA

#### **Agenda Item #1: Welcome**

Chair Gray welcomed new member Rick Lawrance and homeowners in attendance. She noted an updated Committee roster.

#### **Agenda Item #2: ACTION LIST: Updated Walk List Based on Oscar Input and Tentative Schedule for Planting**

The Chair referenced the June 13 Walk List, as updated to incorporate Oscar's input as well as his request for more detail on specified addresses (Please see attached **ACTION LIST**). Next Steps: The list will be forwarded to Nicole Marks to forward to Oscar who will prepare a new cost proposal for the 30 addresses on the list for the Committee to review. The Committee's recommendations will then be forwarded to the Board. A late September/early October planting is anticipated, so that new planting does not occur in the hotter summer months. The Committee will work with the Office to communicate this to homeowners, once the Board has acted.

Theresa McCrackin requested clarification between Netafim and emitters, as effective irrigation for different types of plantings.

#### **Agenda Item #3: New Homeowner Requests**

There are six pending new homeowner requests attached to the agenda. Chair Gray indicated that all Committee members should visit the sites and forward comments and recommendations to her to be discussed at the next Grounds Committee meeting in July. Paula Connors clarified that 1449 University is a re-submitted work order to focus on only one aspect of a previously-submitted request.

#### **Agenda Item #4: Irrigation Concerns and Smart Meter Research**

Irrigation Concerns: Chair Gray noted an increase in homeowner concerns and committee member observations regarding dying grass and suggested that it might be due to the two-day a week watering limitations. The concern is that watering only once on those two days is not sufficient to support healthy grass, particularly on hot summer days. There was discussion about the observed length of current watering cycles, some appearing to be 15 minutes, some appearing to be longer, up to half an hour in different locations. Several Committee members expressed a desire to understand how these irrigations decisions are made. Chair Gray suggested that watering twice a day on the two permitted days would be more effective and made a motion to recommend to the Board to request that Carson water twice a day on the two permitted days, for up to one-half hour each time. Theresa McCrackin raised the point that it seemed premature to make specific recommendations without a complete understanding of variables that aren't known to the Committee at this time.

Moved: Gray

Seconded: Brown

Vote Aye: Gray, Brown, Connors, Ellwanger, Lawrance

Abstain: McCrackin

Smart Meter Research: Chair Gray noted that an increase in requests to address dead or dying plants, turf and trees might be due to “one size fits all” irrigation practices, and that Smart Meters can be customized to address changes in weather, soil conditions, and frequency requirements. The City of Sacramento web site indicates that properties with Smart Meters could be exempt from the twice-a-week watering limitations, and may be eligible for rebates. After discussion, she suggested, and there was general agreement, that the Committee research this as an option for Nepenthe in consultation with Carson. Several members noted that the expense of replacing dead plants and repairing irrigation problems might offset some of the costs, as well. Liaison Delfin agreed on the need for a better understanding of the Nepenthe irrigation components and system.

**Agenda Item #8: Homeowner Comments**

Beverly Fine of 307 Dunbarton requested clarification of the recommendations from the June 13 Walk report regarding her property. The Chair clarified the number and location of nandinas to be removed. In addition, Ms. Fine requested a different plant replacement than that indicated in the report and will consult the new Plant List and provide that information to the Chair as soon as possible. Ms. Fine also brought up a question regarding overgrown trees on a neighbor’s patio, that may pose a fire hazard. Liaison Delfin made note and indicated she would forward that to Nicole Marks for inclusion on her regular compliance walks.

Meeting was Adjourned at 3:50 pm

**Attachment 1: ACTION LIST June 13 Walk List**

**ACTION LIST**  
**JUNE 13 WALK REPORT**

Reviewed and approved at June 19 Grounds Committee meeting

| #  | Status                                       | Address                                   | Proposal                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|----|----------------------------------------------|-------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1  | <b>May 6</b><br>Carson Prop B                | 1107<br>Commons,<br>Tree<br>remediation   | Remove the remaining tree roots which will result in the removal of all the existing plants and add soil. Plant three compacted bottlebrushes and 10 6-packs of Eurasian Grey Sedge / Carex divulsa . Install Netafim– no emitters                                                                                                                                                                                                                                                                                          |
| 2  | <b>May 22</b><br>New<br>Homeowner<br>Request | 12 Adelphi                                | Remove the single fern<br>Plant 5 society garlic on left side of the doorway and plant 4 lime tuft on the right side of the doorway and verify that the netafim is working. Add bark<br>Check irrigation for new plants and confirm that irrigation reaches the dead and bare patch of front grass. and recommend that bare areas in grass be tilled to address soil compaction that inhibits new growth of grass. May need to have new irrigation. No emitters                                                             |
| 3  | <b>May 8</b><br>Carson Prop                  | 2330<br>Swarthmore                        | Variegated compact rock rose (4 plants). With vinca ground cover for shady area. Check irrigation and add/extend netafim if necessary                                                                                                                                                                                                                                                                                                                                                                                       |
| 4  | <b>May 6</b><br>Carson Prop B                | 2310<br>Swarthmore<br>Tree<br>remediation | Add soil if needed<br>Plant Three little miss sunshine and six 6-packs of vinca minor. No emitters<br>Expand netafim as needed                                                                                                                                                                                                                                                                                                                                                                                              |
| 5  | <b>May 22</b><br>New<br>Homeowner<br>Request | 2265<br>Swarthmore                        | Plants are healthy. This is a good candidate for Supplemental Planting.                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 6  | <b>May 6</b><br>Carson Prop B                | 1403<br>Commons–.                         | Leave spindly yellow plant in place but trim back. It is healthy, just needs MAINTENANCE. Add 4 one-gallon Winter Bergenia No emitters                                                                                                                                                                                                                                                                                                                                                                                      |
| 7  | <b>May 22</b><br>New<br>Homeowner<br>Request | 1425<br>Commons                           | Add 6 one gallon Winter Bergenia and expand netafim if necessary                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 8  | <b>May 6</b><br>Carson Prop B                | 101<br>Dunbarton:                         | Only mechanical means will be used to excavate between the trees and soil will be added as needed. The roots need to be avoided and a large protective diameter needs to set around each tree to insure the roots are not damaged. The vinca minor will be planted with 8-inch spacing in the area excavated between the large trees on either side of the walkway. Extend the existing sprinklers to cover this area. A thin layer of dirt, no more than two inches, to be placed in the protected areas around the trees. |
| 9  | <b>May 6</b><br>Carson Prop B                | 306<br>Dunbarton:                         | Yes: match the existing azalea in terms of size and color. <b>No emitters</b><br>Verify that the netafim is working                                                                                                                                                                                                                                                                                                                                                                                                         |
| 10 | <b>May 6</b><br>Carson Prop B                | 307<br>Dunbarton;<br>Nandina<br>issues    | Remove the two nandina on either side of the gate and replace with a 5 gallon gardenia on either side of the gate. Add 3 1 gallon winter Bergenia in front of the fireplace brick on the right side of the gate. Remove the two nadina on either side of the window on the right side of the house.<br>Plant 2 5 gallon lime tuff lomandra, dark green; grows to 30 inches high.                                                                                                                                            |
| 11 | <b>May 22</b><br>New                         | 806<br>Dunbarton                          | Area 1: pony wall: Replace dead azalea with a new azalea.                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |

|    |                                              |                                                         |                                                                                                                                                                                                                                                                      |
|----|----------------------------------------------|---------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|    | Homeowner Request                            |                                                         | Area 2: Let ivy fill in on second location, area does not appear big enough to justify additional plants.                                                                                                                                                            |
| 12 | <b>May 6</b><br>Carson Prop B                | 809<br>Dunbarton;<br>bare area<br>under front<br>window | Plant with 6 one gallon deer fern and 4 6-packs of vinca minor make sure there is netafim                                                                                                                                                                            |
| 13 | <b>May 6</b><br>Carson Prop B                | 813<br>Dunbarton:<br>replace<br>bush<br>stumps,         | Excavate shrub stumps on both sides of walkway near front door. Plant 1 or 2 Cool vista Dianella, and 3 Ceanothus to cover tree roots. Add an Iris Douflasii near the fence.                                                                                         |
| 14 | <b>May 6</b><br>Carson Prop B                | 1004<br>Dunbarton:<br>tree<br>remediation               | Plant 10 one-gallon Winter Bergenia with 10 6 packs of Eurasian Grey Sedge Check and expand netafim as needed<br><b>No emitters.</b>                                                                                                                                 |
| 15 | <b>May 6</b><br>Carson Prop B                | 1653<br>University<br>tree<br>remediation               | Remove the small growth/ suckers coming from the tree roots. Place no more than 2 inches of soil in the bare area under the trees.                                                                                                                                   |
| 16 | <b>May 22</b><br>New<br>Homeowner<br>Request | 1485<br>University                                      | One variegated rock rose.                                                                                                                                                                                                                                            |
| 17 | <b>May 8</b><br>Carson Prop                  | 814<br>Elmhurst                                         | Make sure irrigation is functioning. Plant 5 Little Miss Sunshine plants (Cistus Cobariensis). Add bark                                                                                                                                                              |
| 18 | <b>May 22</b><br>New<br>Homeowner<br>Request | 722<br>Elmhurst                                         | Remove nandinas<br>Replace with ten McMinn manzanita.<br>Check netafim and repair or expand as needed.                                                                                                                                                               |
| 19 | <b>May 8</b><br>Carson Prop                  | 718<br>Elmhurst                                         | Fix emitter so flooding stops.<br>Plant one dwarf loropetalum.                                                                                                                                                                                                       |
| 20 | <b>May 6</b><br>Carson Prop B                | 710<br>Elmhurst:                                        | Plant 4 6-packs of Ceanothus with 3 one-gallon Carex Divulsa. <b>No emitters. Check irrigation – add netafim if needed</b>                                                                                                                                           |
| 21 | <b>May 22</b><br>New<br>Homeowner<br>Request | 606<br>Elmhurst                                         | Recommend pruning:                                                                                                                                                                                                                                                   |
| 22 | <b>May 22</b><br>New<br>Homeowner<br>Request | 601<br>Elmhurst                                         | Plant 3 6-packs vinca minor right side of garage. Check irrigation. Use netafim                                                                                                                                                                                      |
| 23 | <b>May 6</b><br>Carson Prop B                | 510<br>Elmhurst<br>tree<br>remediation                  | Plant 3 fifteen gallon “emerald sunshine elm” on the knoll facing Elmhurst,                                                                                                                                                                                          |
| 24 | <b>May 22</b><br>New<br>Homeowner<br>Request | 320<br>Elmhurst                                         | Check irrigation. remove the dead Japanese maple tree and plant One lime tuft lamondra. Plant 4 one-gallon Winter Bergenia on left hand side of the driveway and make sure there is Netafim. Wait to see if the dead ivy grows back. Check during the summer months. |

|    |                                        |                                        |                                                                                                                                                                                                                                             |
|----|----------------------------------------|----------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 25 | <b>May 22</b><br>New Homeowner Request | 1197<br>Vanderbilt                     | Plant 10 Creeping Mahonia - 5 on either side of the walkway. Prune/Trim Rhododendron as part of ongoing maintenance. Check that irrigation is available and functioning.                                                                    |
| 26 | <b>May 8</b><br>Carson Prop            | 1213<br>Vanderbilt                     | Plant 15 gallon Oklahoma red bud tree.                                                                                                                                                                                                      |
| 27 | <b>May 8</b><br>Carson Prop            | 1221<br>Vanderbilt                     | Defer new planting until siding and painting is completed. Remove boxwood now. After siding and painting are complete, plant three winter creepers.                                                                                         |
| 28 | <b>May 6</b><br>Carson Prop B          | 1257<br>Vanderbilt                     | Plant 3 one-gallon Creeping mahonia. No emitters. Make sure netafim is functioning – repair if needed                                                                                                                                       |
| 29 | <b>May 8</b><br>Carson Prop            | 1269<br>Vanderbilt                     | A) In front, remove the 2 dead boxwood hedges and replace with 1 one-gallon boxwood<br>B) By the garage, Plant 5 five-gallon Euonymous japonica “Silver King” and fill the area from the shrubs to the lawn with 10 6-packs of vinca minor. |
| 30 | <b>May 6</b><br>Carson Prop B          | 1317<br>Vanderbilt<br>tree replacement | Plant dwarf 5 gallon coral bark Japanese maple in the area with ivy on left side of walk way. Add 4 “creeping mahonia “in front of window on the right side where the azaleas are. Plant a 15-gallon red maple in front grass area          |

Please note: Not included in this list: 1423 Commons is deferred and 1318 Vanderbilt was recommended as “No Action.”

General Recommendations:

- No emitters
- Bark in locations where there is not groundcover
- No 24-inch box trees
- Planting should be done in the fall – Late September /early October

## **Committee Application - Jim Shaw - Grounds.pdf**



NEPENTHE

**Nepenthe Committee / Volunteer Application  
with Conflict of Interest Policy Acknowledgement**

**Contact Information:**

Date: 6/11/25  
Name: JIM SHAW  
Address: 608 ELMHURST CIRCLE  
Committee applying for: GROUNDS  
Phone Number: (916) 205-1660  
E-Mail Address: SHAWDJ123@ATT.NET

**Contributions:**

How would you like to contribute to this committee?

ACTIVELY PARTICIPATE AS A COMMITTEE MEMBER WITH SPECIAL INTEREST  
IN AB1512 - RELATED MATTERS

**Committees**

If there is no room on the committee of your choice, would you be willing to serve on another committee?  
If so, which one?

Architectural ☐  
Nominating ☐  
Election ☐  
Grounds ☒

Outreach ☐  
Insurance, Legal & Safety ☐  
Finance ☐  
☐

**Volunteer Only:**

☒ NA I would like to be contacted to help with one-time events or short-term projects as needed.

Other ways I would like to volunteer are:

NA

☒ By providing your initials in this box, you agree that you have read, understand and will abide by the following:

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## **Committee App - Maggie Ward - Grounds and Outreach.pdf**



Nepenthe Committee / Volunteer Application  
with Conflict of Interest Policy Acknowledgement

Contact Information:

Date: June 20, 2025  
Name: Maggie Ward  
Address: 2330 SWARTHMORE DR.  
Committee applying for: Outreach and Grounds  
Phone Number: 916 - 715 - 3163  
E-Mail Address: mmward1981@comcast.net

Contributions:

How would you like to contribute to this committee?

AFTER living in Campus Commons for several years I feel it is time for me to get Active in the community. I am a former Activity Director at a Middle School And Am very

Committes Familiar with social Activities And planning events.  
I am also very interested in the upkeep of our outdoor community  
If there is no room on the committee of your choice, would you be willing to serve on another committee? it needs some care.  
If so, which one?

Architectural ☐

Outreach ☒

Nominating ☐

Insurance, Legal & Safety ☐

Election ☐

Finance ☐

Grounds ☒

☐

Volunteer Only:

☐ I would like to be contacted to help with one-time events or short-term projects as needed.

Other ways I would like to volunteer are:

☐ By providing your initials in this box, you agree that you have read, understand and will abide by the following:

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## **Committee Application - Ashley Tangeraas - Finance.pdf**



## Nepenthe Committee / Volunteer Application with Conflict of Interest Policy Acknowledgement

### Contact Information:

Date:

Name:

Address:

Committee applying for:

Phone Number:

E-Mail Address:

### Contributions:

How would you like to contribute to this committee?

### Committees

If there is no room on the committee of your choice, would you be willing to serve on another committee?  
If so, which one?

Architectural ☐

Outreach ☐

Nominating ☐

Insurance, Legal & Safety ☐

Election ☐

Finance ☐

Grounds ☐

☐

### Volunteer Only:

☐ I would like to be contacted to help with one-time events or short-term projects as needed.

Other ways I would like to volunteer are:

By providing your initials in this box, you agree that you have read, understand and will abide by the following:

Acknowledgement of Conflict of Interest Policy: The applicant hereby acknowledges that he or she has read the Nepenthe Conflict of Interest Policy, has had an opportunity to ask any questions the he or she may have about the policy, and understands and agrees to comply with the policy.

Please return completed form with **Acknowledgement of Conflict of Interest Policy** to 1131 Commons Drive, Sacramento Ca 95825.

## **Nepenthe Finance Committee June 2025 FINAL.docx**

**Attendees:** Nina White (Board Liaison), John Apostolo, Carol Duke, Julie Valverde, Nicole Marks (General Manager)

**Excused:**

**Absent:**

**Homeowners:** Ashley Tangeras, Courtenay Delfin, Peter Pelkofer, Karen Lowrey

| <i><b>Topic</b></i>                                       | <i><b>Objective / Info / Decision</b></i>                                                                                                                                                                                                                                                                                                                                                                     | <i><b>Action</b></i>                                                                                                                                             |
|-----------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Approval of Prior Meeting Minutes and Action Items</b> | <ul style="list-style-type: none"> <li>White called the meeting to order @ 4:30pm. Apostolo moved to approve May, 2025 minutes, and seconded by Duke</li> </ul>                                                                                                                                                                                                                                               | <ul style="list-style-type: none"> <li>Minutes approved</li> </ul>                                                                                               |
| <b>Financial Statement Approval</b>                       | <ul style="list-style-type: none"> <li>Apostolo moved, and seconded by Valverde</li> </ul>                                                                                                                                                                                                                                                                                                                    | <ul style="list-style-type: none"> <li>Financial Statements approved</li> </ul>                                                                                  |
| <b>GM Update; Browning Report &amp; Budget</b>            | <ul style="list-style-type: none"> <li>Browning first draft is forthcoming for GM and Board review, then forward to FC for discussion</li> <li>Draft budget workbook will be ready as soon as Browning update is received</li> <li>Follow up items from May 2025 are closed</li> </ul>                                                                                                                        | <ul style="list-style-type: none"> <li></li> </ul>                                                                                                               |
| <b>Liaison Update</b>                                     | <ul style="list-style-type: none"> <li>See future items for discussion/recommendation below</li> </ul>                                                                                                                                                                                                                                                                                                        | <ul style="list-style-type: none"> <li></li> </ul>                                                                                                               |
| <b>Browning Report</b>                                    | <ul style="list-style-type: none"> <li>Most current is Nov 2024</li> <li>Will be used for 2026 Budgeting process</li> <li>Workbook send to Committee members</li> <li>Browning to provide a list of updates</li> <li>FC would like to streamline report</li> <li>Add line item for SB 1572</li> <li>Understand undesignated category in report, currently titled with a small 'u', and future name</li> </ul> | <ul style="list-style-type: none"> <li></li> </ul>                                                                                                               |
| <b>Reserve tracker</b>                                    | <ul style="list-style-type: none"> <li>Questions as to current reserve tracker as to which year the expenses are posted. Footnotes are not clear</li> <li>Refer to Duke's June 2, 2025 reserve tracker e-mail</li> </ul>                                                                                                                                                                                      | <ul style="list-style-type: none"> <li>Nina to follow up with GM</li> <li>Agenda for July, 2025 meeting</li> <li>Need clarification on 6/2/2025 email</li> </ul> |
| <b>Meeting time change</b>                                | <ul style="list-style-type: none"> <li>Move to 4:00pm on every third Monday of the month. Valverde seconded</li> </ul>                                                                                                                                                                                                                                                                                        | <ul style="list-style-type: none"> <li>Motion approved</li> </ul>                                                                                                |
| <b>Homeowner Comments</b>                                 | <ul style="list-style-type: none"> <li>Leaf clean up is currently in reserves, and not in landscape contract</li> <li>Roof treatment spray treatment to extend life</li> </ul>                                                                                                                                                                                                                                | <ul style="list-style-type: none"> <li>Nina to follow up with current project manager</li> </ul>                                                                 |
| <b>Adjourn</b>                                            | <ul style="list-style-type: none"> <li>Meeting adjourned at 4:51pm</li> </ul>                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                  |

**Next meeting: July 21 @ 4:00pm @ the Clubhouse and Zoom**

**Submitted by: John Apostolo**

| Page

**Future Items for discussion/recommendation**

**Accrual vs Cash Accounting**

- Create a list of questions for consultants. This is a deliverable to Nina. FC Committee members to develop questions by July 1 so we can start compiling questions for each consultant.
- Meet with Consultants at First Service, Nepenthe Accountant, Other HOA

**Insurance (Liability & Flood)**

- Understand insurance risks going forward

**Reserve Study**

- Assure consistency on using most current reserve study: Nov 2024
- Validate if there is a new version
- Get the list of reserve changes submitted by management
- Get list of reserve changes to Nepenthe
- How can the reserve study be simplified?
- Add reserve line item for AB1572
- Understand how we are using the unassigned category: \$59 dues increase.
- Add restricted access to Unassigned category
- Assign an appropriate name to Unassigned category

**Budget 2026**

- Start gathering data to get ready for planning

**Deliverables sent to Finance Committee**

Soft Copy of Roofing cover page - June 3 - Complete

Hard copy of Roofing cover page - June 4 - Complete

Explanation of \$108 Payment to reserves - June 3 Complete

Soft copy browning 2026 workbook sent to Browning- June 6 Open

**2Next meeting: July 21 @ 4:00pm @ the Clubhouse and Zoom**

**Submitted by: John Apostolo**

| Page

| <b>Description</b>                     | <b>Format</b>                   | <b>Distribution</b>                                | <b>Delivered Dates</b>   |
|----------------------------------------|---------------------------------|----------------------------------------------------|--------------------------|
| Monthly Reserve Tracker                | Hard copy<br>Soft Copy<br>(pdf) | Finance Comm<br>Liaison to FC Chair or<br>designee | June 6,16<br>June 2,3,16 |
| Reserve GL Summary<br>Sheet            | Hard Copy<br>Soft Copy<br>(pdf) | Finance Comm<br>Liaison to FC Chair or<br>designee | June 6,16<br>June 3,16   |
| Reserve Expense<br>Authorization (REA) | Hard Copy<br>Soft Copy<br>(pdf) | Finance Comm<br>Liaison to FC Chair or<br>designee | June 6,16<br>June 3, 16  |
| Vendor Invoices                        | Hard Copy<br>Soft Copy<br>(pdf) | Finance Comm<br>Liaison to FC Chair or<br>designee | June 6,16<br>June 3,16   |
| Association Financials                 | Hard Copy<br>Soft Copy<br>(pdf) | Finance Comm<br>Liaison to FC Chair or<br>designee | June 6,16<br>June 3,16   |

**3Next meeting: July 21 @ 4:00pm @ the Clubhouse and Zoom**

**Submitted by; John Apostolo**

| Page

## **Nancy Cochrane - Letter to the Board.docx**

June 11,2025

To: Nepenthe Board of Directors

From: Nancy Cochrane

1427 Commons Drive

Issue: Homeowners Parking Recreational Vehicles Within the Nepenthe Community

Nepenthe is a private development that contains public streets as well as private streets. All homes within the community are assessed a monthly fee of \$720 regardless of the residence location on either a public or private street.

The benefits of living on a private street within Nepenthe currently allows disparate benefits to those of us living on the public streets. One major benefit: no one living on a private street is subjected to seeing and having homeowners park their recreational vehicles outside our homes or nearby where they can be seen day and night often for days or weeks at a time.

The Board understood this issue and addressed it. I direct the Board to the CC&Rs specifically section 3.3 which states the following:

*“Except within areas designated by the Association, there shall be no parking, keeping and/or storage outside of garages within the Development or streets, of trailers of any kind, vehicles and trucks larger than a medium duty, Class 4 truck as defined by the Department of Transportation Federal Highway Administration, mobile homes, non-operational vehicles, golf carts and/or recreational vehicles, including motorhomes, trailers, campers, boats or similar vehicles.”*

I have brought this issue to the attention of the front office for well over a year. I have repeatedly been told that there is nothing the Association can do because these trailers and recreation vehicles are parked on public streets. It is incorrect to state there is nothing that can be done.

The Association may not tow or “boot” a car on the public street which would be the jurisdiction of the City of Sacramento. However, it can enforce the CC&Rs and issue warning letters and assess fines and liens just as the Board does in numerous other situations. This parking restriction as set forth in the CC&Rs is reasonable and enforceable.

This restriction helps maintain an aesthetically pleasing environment within the Association, keeps property values up and keeps unsightly trailers and RVs out of the neighborhood.

When homes are purchased within the community homeowners are bound by the “covenant” of the governing documents. These are contractual rules and apply to all homeowners within the community.

Restrictions within CC&Rs are equitable servitudes that “run with the land.” This means that an owner is automatically bound by those restrictions contained in the CC&Rs which are recorded with the property.

CC&Rs contain restrictions that pertain to the maintenance of the property but also contain restrictions that regulate how the owners can use the land. When the CC&Rs contain restrictions on parking that attempt to regulate the aesthetics of the community, the argument is that the restriction applies to conduct on both private and public streets within the community. Aesthetic standards benefit all residents and help maintain property values.

Along with other state decisions (Maryland and New Jersey) there is a California unpublished case from 1978, *Lake Forest Community Association v. Noble* (Orange County Superior Court No. 197563), in which the California Court of Appeal found that private parties can regulate parking on public streets in order to protect the association’s property values. In that case, the homeowner was parking a truck camper on the public street in violation of the CC&Rs. The Court found that the homeowner was contractually obligated, via the CC&Rs to refrain from parking his truck camper anywhere within the community, including the public street.

Homeowner Associations have reasonable grounds to assert the parking restrictions in the CC&Rs which apply to member conduct on both public and private streets within the community in order to preserve the property values. And the Association may initiate fines and liens, as they do in other circumstances, to those homeowners who do not comply. Associations have a compelling interest in preserving property values through the enforcement of the governing documents.

Lastly, why is this even an issue? Isn’t it just common sense, common decency and a good neighbor practice NOT to park trailers and recreational vehicles within the community to maintain the aesthetic and property value of our neighborhood?

I am asking the Board to implement a procedure to enforce its recorded CC&Rs (specifically section 3.3) pursuant to California Civil Code section 5975.

Nancy Cochrane



## **Barbara Beddow - Letter to the Board.pdf**

Barbarra Beddow  
705 Elmhurst Circle  
Sacramento, CA. 95825  
June 18, 2025

Nepenthe Board of Directors  
1131 Commons Drive  
Sacramento, CA 95825

Dear Board of Directors,

I am writing to express my thanks to the current and previous Nepenthe Boards for their selection of vendors for the ongoing siding and painting project.

Critical Path Reconstruction (CPR) did a great job leading off the project. Luis Almazan, Cesar Almazan, and Brian Toral were excellent supervisors, always on the job, always available and responsive to homeowners. The members of their work crews were efficient, thorough, friendly, and they cleaned up the area every day. They worked hard and addressed the construction issues needing attention (some I was not aware of).

I also recognize Progressive Painting, who finished up the job, making everything beautiful. They were careful, with excellent prep, getting paint where it should be and not where it shouldn't. Supervisor, Pete, and the women and men on his crew were responsive and efficient.

Paul Reeves, project manager was always available and helpful in so many ways. Our office staff, Nirmal Dhesi, Nicole Marks, Trevon McCrea, and Jay Michel (gone, but not forgotten-thanks for that wonderful path of travel map) – they answered our questions and kept us up to date.

To the Phase III people, I suggest thinking about what you want to change outdoors-now is the time. Prepare for the work, clear out the decorative things in your yard(s) as best you can. Trim the greenery away from the fence. Take out that bush or tree you've been meaning to. The easier you make it for the workers, the better it will go for you. Expect disruption for a few weeks, max. Then it's over, your home is in good shape, and things look FANTASTIC!

Thanks again, Nepenthe Board(s), and all workers, for a job well done!



Barbara Beddow

## **FNL JUNE 2025 HO Meeting Response .docx**

## RESPONSES TO JUNE 2025 OPEN MEETING COMMENTS and CORRESPONDENCE

Please note these responses will always be attached to packets for Open Board meetings following the meeting where the comment was made and will also be published with the monthly newsletter. As time, quantity of homeowner comments, and level of research necessary to prepare full and accurate responses permits, these responses may also be emailed mid-month after the meeting date mentioned in the heading.

[ ] signals that this response was given at the meeting

**1. Bill White:** Bill prefers option 2 on insurance deductible survey; would like to get beyond this. A second issue is the dumpsters provided on Elmhurst and Dunbarton. He has used the City for rubbish pickup at his Elmhurst address with no problem – the City does not know the streets are private. He suggests, as all homeowners are paying for the dumpster service, that units be placed at locations on all Nepenthe streets.

**BOARD RESPONSE:** Our General Manager contacted the City to clarify the regulations. The City's response is that residents of private streets are not eligible to request rubbish pickup. Residents of City streets (Commons Drive, University Ave and Vanderbilt Way) are eligible for twice yearly rubbish pickup (between February and October) by calling the City at 311 or 916-264-5011.

Placement of the dumpsters is a cost to the Association and offered to residents of private streets to compensate for the lack of City rubbish services. Our costs would increase if we raised the number of dumpsters requested. As the City, through our taxes, offers free rubbish pickup twice a year to those on City streets, it would be fiscally unwise for the Board to approve placement on all streets.

**2. Diane Schaal:** Diane likes the idea of dumpsters on all streets but would like to request that the height be lower as it is difficult to reach. She is concerned about overflow items left outside the containers.

[GM replied: This year the contractor, without notice, delivered the larger containers which are higher than the ones we order. The HOA handyman placed most of the overflow into the containers while our siding contractor, CPR, as a courtesy to Nepenthe, removed the refrigerator.]

**3. Don Person:** Don had 4 things to mention.

- a) Would it be possible to create 'health pods' within the community with a record keeping structure? This would permit people with health problems to build a support contact record.
- b) Could new and/or refresher CPR classes be scheduled?
- c) The insurance issue is more complex than just the CC&R section 10.8. There are more sections that could be changed – for example, the damage and destruction clauses (CC&R 1.1) are ambiguous; there is no CC&R obligation for the Association to maintain fences, etc. Don would like to create a round table to with the idea of self-insurance. He is willing to meet with the Board in Exec session to discuss these ideas.
- d) Don congratulated the new Board members.

**BOARD RESPONSE:**

- a) As a facility management and maintenance association, the Board would not be an appropriate organization to set up or maintain a database of personal information and relationships beyond the basic information maintained about the emergency contacts only to be used by First Service for management issues. The Board would encourage homeowners to work with their supportive neighbors and friends so share information that would assist their inter-support purposes. Just as with Neighborhood Watch, this would typically be a small group of people.
- b) The Board will review the feasibility and costs of sponsoring such classes.
- c) While the Board appreciates this offer, The ILS committee is an appropriate venue for discussion of insurance suggestions and questions. The committee can then make suggestions and recommendations to the Board.
- d) Thank you for your good wishes.

**4. Marcy Best:** Marcy had 2 comments.

- a) she mentioned that the dumpsters were used for disposal of unacceptable items and suggests we should have a list of acceptable and not acceptable items on each container.
- b) There was a break-in at the Dunbarton storage area.  
[GM confirmed the exterior door closure issue has been repaired.]

**BOARD RESPONSE:** a) In the future, the HOA will post signs indicating the acceptable items – please note this is included with the announcements of the dumpster placement.

**5. Peter Klein:** Peter is pleased with the lessening of pruning on the shrubs at his unit. He mentioned the positive effect upon the community and our reputation of a good place to live from events such as the Music by the Pool. He also commended the many volunteers – both visible and those behind the scenes – who make Nepenthe such a good place to live. He mentioned by name: Gerry Gelfand; Pam Livingston, Marcy Best, Alan Watters; Bill White; Joan Barrett; Theresa McCracken; and Jan Beale.

**BOARD RESPONSE:** The Board appreciates your acknowledgement of our volunteers and positive comments upon our community.

**6. Maggie Ward:** Maggie has placed 3 requests for landscape work. Her landscaping is very poor and has been since the large storm where trees came down. She feels Grounds has been slow to respond.

[Mary Gray provided background – Jane Brown has discussed a plan with Mandy and that plan has been recommended by Grounds. There is a process and, while frustrating and time consuming, landscape work is in the works for the unit.]

**BOARD RESPONSE:** Our volunteers work many hours each month monitoring and reviewing requests but only officially meet once a month to conduct business – this is also true of the Board. This deliberative process permits us to explore options and review financial and other concerns. We appreciate the community's understanding that, with the exception of true emergencies, requests will take time to result in action.

**7. Ashley Tangeraas:** via Zoom, Ashley agrees with Bill White's suggestion on the dumpsters.

**BOARD RESPONSE:** Please see response above in number 1. We appreciate your comment.

**8. Ricardo Pineda (as homeowner):** A Flood Protection Board meeting last week discussed the Central Valley and American River, specifically on downstream from Folsom. The meeting was recorded and when he has the link to the YouTube location, he will share that with the community.

**BOARD RESPONSE:** Thank you for your offer to make this information available.

### **CORRESPONDENCE**

**1. Markus Dascher:** In 3 sections the Candidate Forum was the topic of this letter.  
a) in the past the event was held on Saturdays to permit more people to attend. Can we compare the attendance to see if the change did increase the attendance and use that information to inform future timing?  
b) Past forums have used outside moderators to separate the General Manager from needing to manage people and questions and suggests Nepenthe return to that format.  
c) Questions submitted by homeowners were modified by the General Manager. This results in questions that perhaps do not address the point the homeowner is trying to make. Specific questions that were changed as well as the question as edited are included in the letter.

#### **BOARD RESPONSE:**

a and b) The Board will be reviewing the forum procedures before the next election cycle.

c) A moderator often rephrases written questions to reduce the words used, clarify the question, reduce the repetitiveness of a question, or to soften the tone of those questions that could create finger pointing or embarrassment. Again, the Board will be reviewing the forum procedures before the next election cycle.

Each candidate addressed in the questions was invited to respond to the original question. The responses received are shown below each question.

Question 1 was addressed to Nina White and Mary Gray.

**Revised question:** Would you support the Association conducting an audit? In addition, do you think we will have a special assessment with such high dues?

**Original Question 1:** In January of 2023, you and some others sent out emails regarding Board responsibilities. You have multiple times pushed for an audit. Nina, since you have been on the board, we have not heard anything about an audit. Are you still thinking we should have one? Also, in the emails you and others claimed that we may be on the path to a special assessment. Do you still think we may have a special assessment especially with such high dues?

**Nina White Response:**

I responded to the audit question in the candidates' forum so I will focus on the question of special assessment below.

I believed that our HOA could possibly have had a special assessment. As for today, the excessive spending on landscape reserves was curtailed in 2025 before I joined the board in Dec 2024. Therefore, I am hopeful we can recover. Notwithstanding, in the future, an assessment could be possible due to unforeseen events or circumstances.

Contributing factors to my past belief of a possible special assessment

- In Dec 2023, the association's attorney advised us to go through with the recall election, yet we didn't follow his advice and ended up in an avoidable lawsuit.
- Excessive spending of our reserves in landscape in years 2022,2023,2024.
- In a finance meeting, in October of 2023 Bob Browning warned us about the challenges of overspending on landscape. His advice was not followed.
- Please see the clip of Bob Browning at the October 2023 finance meeting discussing the challenges. <https://youtu.be/e5x27TSL9Xg> Complete October 2023 finance meeting recording link:  
<https://youtu.be/dNqL5YRvsY4?si=sQdxyH7vDzxd9Dxt>

Question 2 was addressed to Mary Gray.

**Revised Question:** If you get elected, will you put Nepenthe's interest first?

**Original Question:** Last time when you served on the board you have repeatedly put your personal interests first. To mention only one, your windows. If you get elected, will you put Nepenthe's interest first and not try to again implement your own agenda? (ibid.)

Question 3 was addressed to Cheryl Nelson.

**Revised question:**

Again, I am going to edit. These really need to be questions and not back stories to them. So, this one discusses that the office used to be staffed on Saturday and that the office/clubhouse hours have changed from 9-6 to 8-5. Would you be open to make changes to accommodate the homeowners?

**Original question:**

The current board made the decision to change the clubhouse/office hours to accommodate the staff. These hours are not in the best interest of the residents that are still in the workforce. We used to have the office staffed on Saturday mornings as well. Would you be open to make these changes to accommodate the homeowners? Also, the board has agreed for the manager to work from home once a week. This was not announced to the homeowners. Are you in favor of this?

**Cheryl Nelson Response:**

After examination of the use of the office staff during early (8-9am) and late (5-6pm) hours, a decision was made to consolidate the workforce during the most utilized hours. Saturday coverage ended a few years ago under a different Board for the same reasons and to reduce costs. With the newly changed hours, the office has announced that homeowners inconvenienced by this change can request a meeting either earlier or

later by calling the office and making the request. Certainly, if the number of homeowners needing the early or late access increases, the board should reconsider the office hours. The General Manager has been granted the privilege of working from home up to one day a week provided there is continued access to her via phone and/or email and staff is in the office. This is considered a privilege and revocable for any reason. I concur with the Board decision to make these changes, given the conditions that apply.

**OpenSession\_06042025\_Minutes.pdf**



# NEPENTHE ASSOCIATION

## Open Session

June 4, 2025 6:00 PM  
Nepenthe Clubhouse  
1131 Commons Drive  
Sacramento, CA

### MINUTES

**Directors Present**

COURTENAY DELFIN - President  
CHERYL NELSON TRUSTEE - Secretary  
NINA WHITE TTEE - Treasurer  
BRIAN COATES - Vice President  
RICARDO PINEDA - Member at Large

**Directors Absent**

None

**Additional Attendees**

Nicole Marks, CMCA, AMS - General Manager, FirstService Residential

### I. CALL TO ORDER

The meeting was called to order at 6PM.

### II. EXECUTIVE SESSION ACKNOWLEDGEMENT/ANNOUNCEMENT

In accordance with Civil Code Section 4935(a) the Board met in Executive Session on June 3, 2025 to consider litigation, matters relating to the formation of contracts with third parties, member discipline, personnel matters, or to meet with a member, upon the member's request, regarding the member's payment of assessments, as specified in Civil Code.

**The Board took the following actions during the June 3rd meeting:**

- The Board approved proposal from Critical Path Reconstruction for fencing repairs at 2315 Swarthmore in the total amount of \$7,987.38 — *This proposal was approved unanimously*
- The Board approved 3 proposals from Indoor Environmental Services for HVAC repairs at the clubhouse in the total amount of \$3,388.68 — *These proposals were approved unanimously*
- The Board approved 6 proposals from Grove Total Tree Care for tree maintenance/pruning in Zones 2-7 in the total amount of \$94,190 — *These proposals were approved unanimously*
- The Board approved 5 proposals from Carson Landscape for irrigation repairs in the total amount of \$1,465 — *These proposals were approved unanimously*

### III. REPORTS

**A. GENERAL MANAGER'S REPORT**

The General Manager, Nicole Marks, provided the GM report verbally.

**B. CONSTRUCTION MANAGER'S REPORT**

The Construction Manager, Paul Reeves, provided a written report for the community regarding Phase 2/3.

**IV. COMMITTEE UPDATES**

**A. ARCHITECTURAL COMMITTEE**

**Resolved**

The Board affirms the committee's recommendations below:

| Address            | Modification | Recommendation     |
|--------------------|--------------|--------------------|
| 1113<br>Vanderbilt | HVAC         | Emergency Approval |

**Motion:** COURTENAY DELFIN

**Second:** BRIAN COATES

► **Resolved**  
*The motion passed unanimously*

**B. OUTREACH COMMITTEE**

Marcy Best provided a verbal update for the Outreach Committee which included the 4th of July event and the shredding event in August.

**C. ILS COMMITTEE**

Cheryl Nelson provided a verbal update for the ILS committee which included modification of the fencing at the clubhouse gates.

**D. GROUNDS COMMITTEE**

No updates were provided by the Grounds Committee.

**E. FINANCE COMMITTEE**

No updates were provided by the Finance Committee.

**V. HOMEOWNER CORRESPONDENCE**

**A. HOMEOWNER CORRESPONDENCE - 06.04.25**

The Board has acknowledged receipt of all correspondence received and will respond accordingly.

**B. HOMEOWNER COMMENT/CORRESPONDENCE FOLLOW UP - 05.07.25**

The Board provided written responses to all Homeowner Correspondence received for the May 2025 Open Session Board Meeting.

**VI. CONSENT CALENDAR**

**Resolved**

The Board approves Consent Calendar Items A-B as presented.

**Motion:** NINA WHITE TTEE

**Second:** COURTENAY DELFIN

► **Resolved**  
*The motion passed unanimously*

**A. OPEN SESSION MINUTES - MAY 7, 2025**

Resolved

The Board approves the Open Session Minutes dated May 7, 2025 as presented.

B. FINANCIAL STATEMENT - APRIL 2025

Resolved

The Board accepts the Association’s income statement for April 2025 comparing actual results to budget, reserve statement, bank statements and reconciliations, check history report and general ledger as presented, subject to an annual audit. The report reflects a year-to-date net operating income of \$29,105.91 and year-to-date reserve funding of \$737,848.61 compared to the year-to-date reserve funding budget of \$693,920. The actual year-to-date operating expenses were \$1,028,941.43. The budgeted year-to-date operating expenses were \$973,880. The association has \$125,712.71 in operating funds, which represents 0.30 months of budgeted expenses and reserve contributions. The association has \$8,117,707.22 in reserve funds.

VII. NEW BUSINESS

A. 2025-2026 COMMITTEE APPOINTMENTS

Resolved

The below committee appointments are approved by the Board for the 2025-2026 term:

|              |                                                                                                                                                          |
|--------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|
| Architecture | Allen Davenport<br>Paul Serafimidis<br>Alan Watters                                                                                                      |
| Election     | Yvonne DelBiaggio<br>Joleen Hecht<br>Joanne Massoni                                                                                                      |
| Finance      | John Apostolo<br>Carol Duke<br>Julie Valverde                                                                                                            |
| Grounds      | Jane Brown<br>Paula Connors<br>Don Ellwanger<br>Mary Gray<br>Rick Lawrance<br>Theresa<br>McCrackin                                                       |
| ILS          | Leslie Arnal<br>Pamela DiMaggio<br>Jackie Grebitus                                                                                                       |
| Nominating   | Kathryn Schmid<br>Dale Shaw                                                                                                                              |
| Outreach     | Joan Barrett<br>Jan Beale<br>Ann Bennett<br>Marcy Best<br>Patricia Furukawa<br>Geraldine Gelfand<br>Theresa<br>McCrackin<br>Ann Pasiuk<br>Kathryn Schmid |

|  |                                        |
|--|----------------------------------------|
|  | Dale Shaw<br>Lora Slevin<br>Bill White |
|--|----------------------------------------|

**Motion:** COURTENAY DELFIN  
**Second:** BRIAN COATES

► **Resolved**  
*The motion passed unanimously*

**B. 202 DUNBARTON - ARCHITECTURE APPEAL**

**Background**

The gazebo structure at 202 Dunbarton was denied during the May Open Session Board Meeting. Per the governing documents, the owner may submit an appeal of the denial. The owner has provided the attached appeal and is requesting the Board to appeal the denial decision. Additionally, the chair of the Architecture Committee, has provided background information which led the committee to deny the initial application.

**Resolved**

The Board denies the appeal for the gazebo at 202 Dunbarton to keep the gazebo as is. However, the Board approves the gazebo with the following conditions: White portions of the gazebo must be painted to match the house color, owner has 30 days to paint the white portions of the gazebo and the gazebo must be removed when the owner moves out of the home.

**Motion:** NINA WHITE TTEE  
**Second:** COURTENAY DELFIN

► **Resolved**  
*The motion passed unanimously*

**C. CC&R REVISION**

The Board provided a verbal update on the status of the CC&Rs Section 10.8 and the survey results.

**VIII. HOMEOWNER FORUM**

Multiple homeowners addressed the board with concerns/questions/comments which included status of CC&R revisions and landscaping questions.

**IX. NEXT BOARD MEETING**

The Association’s next open Board meeting will be held July 2, 2025, at 6:00 pm.

**X. ADJOURN**

The meeting was adjourned at 7PM.

APPROVED

DATE

**NEP 05-25 FINANCIAL.pdf**

# NEPENTHE ASSOCIATION

## CASH BASIS FINANCIAL STATEMENTS

FOR THE MONTH AND FIVE MONTH(S) ENDED  
MAY 31, 2025

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THE ACCOMPANYING FINANCIAL STATEMENTS ARE SUBJECT TO AUDIT  
AND ARE ONLY INTENDED FOR THE ASSOCIATION'S INTERNAL USE.

PREPARED BY:



# NEPENTHE ASSOCIATION

## Financial Summary



Fiscal Year End: December 31, 2025

### For the Month Ended:

May 31, 2025

|                                 |              |              |                  |              |
|---------------------------------|--------------|--------------|------------------|--------------|
| Operating cash                  | 272,386.80   | 125,712.71   | Increase in Cash | 146,674.09   |
| Reserve cash                    | 7,759,148.10 | 8,117,707.22 | Decrease in Cash | (358,559.12) |
| Adj Operating Cash (see note 1) | 218,907.39   | 61,564.93    | Increase in Cash | 157,342.46   |

|                                       |            |
|---------------------------------------|------------|
| Average budgeted expenses / month     | 416,950.00 |
| Average # of months of available cash | 0.65       |
| Percent Funded Per 2024 Reserve Study | 186.0%     |

### ASSESSMENT SUMMARY

|                           |            |
|---------------------------|------------|
| Prepaid Utilities         |            |
| Monthly Assessment Budget | 388,810.00 |
| Assessment Cash Received  | 369,557.38 |

### Total Assessments Receivable

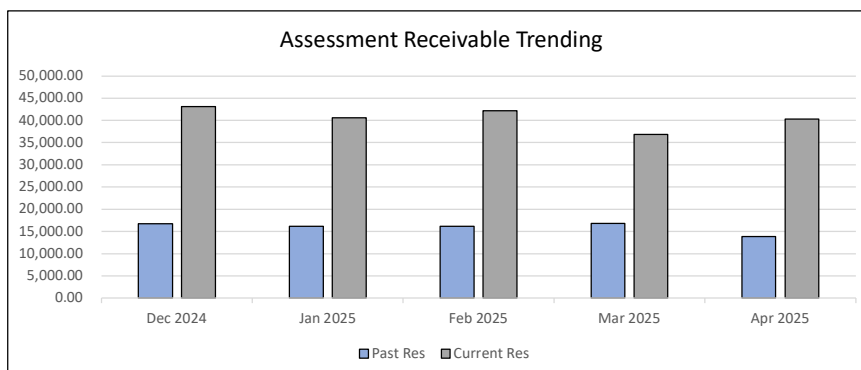
|                             |           |
|-----------------------------|-----------|
| 0-30 days late (see note 2) | 659.00    |
| 31-60 days late             | 15,592.89 |
| 61-90 days late             | 7,024.40  |
| over 90 days late           | 30,900.43 |
| Total Assessments Due       | 54,176.72 |

### Other Receivable

|  |            |
|--|------------|
|  | 125,632.73 |
|--|------------|

|                                 |           |
|---------------------------------|-----------|
| Past Residents Assessments Rec. | 13,858.03 |
|---------------------------------|-----------|

|                     |           |
|---------------------|-----------|
| Prepaid Assessments | 53,479.41 |
|---------------------|-----------|



### OPERATING SUMMARY

| Category                 | May Expenses | YTD Expenses | YTD Budget | YTD Variance | Negative YTD Variances > \$2000        |
|--------------------------|--------------|--------------|------------|--------------|----------------------------------------|
| Utilities                | 30,090       | 140,353      | 185,940    | 45,587       |                                        |
| Landscape                | 48,880       | 247,400      | 244,400    | (3,000)      | LANDSCAPE \$3K MORE THAN BUDGET 1-TIME |
| Common Area              | 20,605       | 154,354      | 120,810    | (33,544)     | GUTTER/DOWNSPOUT+PLUMBING              |
| Management/On-Site Admin | (85,932)     | 193,410      | 201,195    | 7,785        | TAXES, PAYROLL, WEBSITE                |
| Insurance                | 59,883       | 366,951      | 465,005    | 98,054       |                                        |
| Total Operating Expenses | 73,526       | 1,102,468    | 1,217,350  | 114,882      | Spending underbudget year-to-date      |
| YTD Profit/(Loss)        |              | 175,780      |            |              |                                        |

### RESERVE SUMMARY

|                                        |            |                                     |              |
|----------------------------------------|------------|-------------------------------------|--------------|
| Contribution to Reserves this month:   | 173,480.00 | Reserve Disbursements this month:   | 543,976.51   |
| Contribution to Reserves Year-to-Date: | 804,774.00 | Reserve Disbursements Year-to-Date: | 2,154,647.64 |
| Interest on reserve funds Year-to-Date | 118,492.00 |                                     |              |

### ITEMS OF NOTE

- Adj Operating Cash is calculated by Operating Account Funds minus Prepaid Assessments.
- In a month with 31 days, assessments owed for that month would be reflected under 31-60 days late.
- Insurance Claim of \$202,707.63 added directly to reserves, will not reflect on income statement, nor will it offset the budget.

**Nepenthe's Year To Date Cash Flow**

| <b>Sources/Uses</b>      |                           | <b>Operations</b> | <b>Reserves</b>  |
|--------------------------|---------------------------|-------------------|------------------|
| <b>Beginning Balance</b> | <b>1/1/2024</b>           | <b>89,192</b>     | <b>8,937,750</b> |
| <b>Plus</b>              | Income                    | 2,201,514         |                  |
|                          | Reserve Investment Income |                   | 118,492          |
|                          | Contributions to Reserves |                   | 804,774          |
| <b>Less</b>              | Operating Expenses        | (1,102,468)       |                  |
|                          | Reserve Funding           | (804,774)         |                  |
|                          | Reserve Expenses          |                   | (2,154,648)      |
| <b>Ending Balance</b>    | <b>5/31/2025</b>          | <b>272,387</b>    | <b>7,759,148</b> |

**Budget Report**

|                                                                         |                 |
|-------------------------------------------------------------------------|-----------------|
| Actual Income - Year-to-date                                            | \$ 2,201,513.85 |
| Budgeted Income - Year-to-date                                          | \$ 2,084,750.00 |
| Produced a positive Year-to-date income variance of                     | \$ 116,763.85   |
|                                                                         |                 |
| Actual Expenses and Reserve Contribution - Year-to-date                 | \$ 2,025,733.85 |
| Budgeted Expenses and Reserve Contribution - Year-to-date               | \$ 2,084,750.00 |
| Produced a positive Year-to-date operating expenses variance of         | \$ 59,016.15    |
|                                                                         |                 |
| The two combined variances produced a positive Year-to-date variance of | \$ 175,780.00   |

**Other Information**

|                        |           |       |              |
|------------------------|-----------|-------|--------------|
| Unpaid assessments at  | 5/31/2025 | were: | \$ 54,176.72 |
| Prepaid assessments at | 5/31/2025 | were: | \$ 53,479.41 |

NEPENTHE ASSOCIATION  
COMPARATIVE BALANCE SHEET  
05/31/2025

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c/o FirstService Residential  
15241 Laguna Canyon Rd  
Irvine CA 92618

FirstService Residential CA  
15241 Laguna Canyon Road  
Irvine CA 92618

|                                    | CURRENT<br>MONTH           | PRIOR<br>MONTH             |
|------------------------------------|----------------------------|----------------------------|
| -----                              |                            |                            |
| CASH AND INVESTMENTS               |                            |                            |
| OPERATING ACCOUNT FUNDS            | 271,928.94                 | 125,712.71                 |
| PETTY CASH                         | 150.00                     | 150.00                     |
| RESERVE ACCOUNT FUNDS              | <u>7,759,148.10</u>        | <u>8,117,707.22</u>        |
| TOTAL CASH AND INVESTMENTS         | 8,031,227.04               | 8,243,569.93               |
| OTHER ASSETS                       |                            |                            |
| UNFUNDED RESERVES                  | <u>260,220.00</u>          | <u>346,930.00</u>          |
| TOTAL OTHER ASSETS                 | 260,220.00                 | 346,930.00                 |
| TOTAL ASSETS                       | <u><u>8,291,447.04</u></u> | <u><u>8,590,499.93</u></u> |
| LIABILITIES                        |                            |                            |
| -----                              |                            |                            |
| ACCOUNTS PAYABLE                   | 60,500.00                  | 60,500.00                  |
| UNFUNDED RESERVES                  | <u>260,220.00</u>          | <u>346,930.00</u>          |
| TOTAL LIABILITIES                  | 320,720.00                 | 407,430.00                 |
| MEMBERS EQUITY                     |                            |                            |
| -----                              |                            |                            |
| GENERAL RESERVE FUND BALANCE       | 7,759,148.10               | 8,117,707.22               |
| OPERATING FUND BALANCE-BEG OF YEAR | 36,256.80                  | 36,256.80                  |
| CURRENT YEAR INCOME/(LOSS)         | <u>175,322.14</u>          | <u>29,105.91</u>           |
| TOTAL LIABILITIES & MEMBERS EQUITY | <u><u>8,291,447.04</u></u> | <u><u>8,590,499.93</u></u> |

NEPENTHE ASSOCIATION  
RESERVE FUND BALANCES SUPPORT SCHEDULES  
05/31/2025

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|                                       | PRIOR YEAR<br>BALANCE | BEG BAL<br>REALLOCATION | ADDITIONS<br>THIS YEAR | EXPENSE<br>CURRENT MONTH | PREVIOUS EXP<br>CURRENT YEAR | CURRENT<br>BALANCE  |
|---------------------------------------|-----------------------|-------------------------|------------------------|--------------------------|------------------------------|---------------------|
| <b>GENERAL RESERVES</b>               |                       |                         |                        |                          |                              |                     |
| 23103 INTEREST ON RESERVE FUNDING     | 0.00                  | 0.00                    | 118,492.00             | 0.00                     | 0.00                         | 118,492.00          |
| 22872 GYM/WORKOUT FACILITY            | 14,017.11             | 0.00                    | 952.00                 | 0.00                     | 0.00                         | 14,969.11           |
| 22960 PAINTING-INTERIOR RESERVES      | 6,338.62              | 0.00                    | 430.50                 | 0.00                     | 0.00                         | 6,769.12            |
| 23014 CONCRETE REPAIRED RESERVES      | 108,220.33            | 0.00                    | 7,350.00               | 0.00                     | (8,862.00)                   | 106,708.33          |
| 23058 GENERAL RESERVES                | 0.00                  | 0.00                    | 0.00                   | (610.00)                 | (26,116.55)                  | (26,726.55)         |
| 23120 ROOF RESERVES                   | 3,349,676.81          | 0.00                    | 227,500.00             | 0.00                     | (13,290.00)                  | 3,563,886.81        |
| 23122 POOL/SPA RESERVES               | 106,828.92            | 0.00                    | 7,255.50               | 0.00                     | (4,540.00)                   | 109,544.42          |
| 23127 FENCING RESERVES                | 361,971.23            | 0.00                    | 24,584.00              | (119,651.85)             | (291,665.61)                 | (24,762.23)         |
| 23130 CONTIGENCY RESERVES             | 52,610.00             | 0.00                    | 0.00                   | (110,614.00)             | 0.00                         | (58,004.00)         |
| 23133 IRRIGATION RESERVES             | 126,875.45            | 0.00                    | 8,617.00               | (19,410.00)              | (43,490.00)                  | 72,592.45           |
| 23146 SIGNS RESERVES                  | 29,940.96             | 0.00                    | 2,033.50               | (436.39)                 | (863.10)                     | 30,674.97           |
| 23178 PAVING RESERVES                 | 557,592.36            | 0.00                    | 37,870.00              | (8,984.00)               | (3,437.00)                   | 583,041.36          |
| 23199 RESERVE STUDY RESERVES          | 7,833.09              | 0.00                    | 532.00                 | 0.00                     | 0.00                         | 8,365.09            |
| 23201 PRIOR YEAR FUNDING              | 0.00                  | 0.00                    | 197,594.00             | 0.00                     | 0.00                         | 197,594.00          |
| L23133 OUTDOOR EQUIPMENT RSRV         | 14,274.78             | 0.00                    | 969.50                 | 0.00                     | 0.00                         | 15,244.28           |
| L23135 PAINT EXTERIOR RSRV            | 634,274.19            | 0.00                    | 43,078.00              | (73,175.00)              | (124,500.00)                 | 479,677.19          |
| L23136 STRUCTURAL REPAIRS RSRV        | 1,925,651.89          | 0.00                    | 130,784.50             | (209,810.27)             | (675,413.52)                 | 1,171,212.60        |
| N22911 UNDERGROUND UTILITY RSRV       | 97,913.63             | 0.00                    | 6,650.00               | 0.00                     | (2,495.00)                   | 102,068.63          |
| N23017 CLUBHOUSE RENOVATION RSRV      | 84,772.58             | 0.00                    | 5,757.50               | 0.00                     | (4,418.35)                   | 86,111.73           |
| N23130 MISCELLANEOUS RSRV             | 16,748.38             | 0.00                    | 1,137.50               | 0.00                     | 0.00                         | 17,885.88           |
| N23274 TENNIS COURT RSRV              | 69,003.34             | 0.00                    | 4,686.50               | 0.00                     | 0.00                         | 73,689.84           |
| N23275 GROUNDS RESERVE                | 695,702.11            | 0.00                    | 87,930.00              | 0.00                     | (278,135.00)                 | 505,497.11          |
| N23282 TREE REMOVAL ANNUAL MAINT RSRV | 698,794.12            | 0.00                    | 6,780.00               | (1,285.00)               | (133,445.00)                 | 570,844.12          |
| N22991 POLE LIGHT REPAIRS RSRV        | 33,599.84             | 0.00                    | 2,282.00               | 0.00                     | 0.00                         | 35,881.84           |
| <b>TOTAL GENERAL RESERVES</b>         | <b>8,992,639.74</b>   | <b>0.00</b>             | <b>923,266.00</b>      | <b>(543,976.51)</b>      | <b>(1,610,671.13)</b>        | <b>7,761,258.10</b> |

NEPENTHE ASSOCIATION  
INCOME STATEMENT  
05/31/2025

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c/o FirstService Residential  
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| -----<br>ACTUAL             | ---MONTH---<br>BUDGETED | -----<br>VARIANCE  | G/L<br>NUMBER | DESCRIPTION                        | -----<br>ACTUAL     | YEAR TO DATE<br>BUDGETED | -----<br>VARIANCE  | ANNUAL<br>BUDGET | \$ REMAINING<br>IN BUDGET |
|-----------------------------|-------------------------|--------------------|---------------|------------------------------------|---------------------|--------------------------|--------------------|------------------|---------------------------|
| <b>REVENUE</b>              |                         |                    |               |                                    |                     |                          |                    |                  |                           |
| 369,557.38                  | 388,810                 | (19,252.62)        | 14000         | HOMEOWNER ASSESSMENT REVENUE       | 1,950,400.74        | 1,944,050                | 6,350.74           | 4,665,720        | 2,715,319.26              |
| 0.00                        | 2,000                   | (2,000.00)         | 14087         | EASEMENT AGREEMENT                 | 6,161.42            | 10,000                   | (3,838.58)         | 24,000           | 17,838.58                 |
| 68.31                       | 150                     | (81.69)            | 14101         | INTEREST ON PAST DUE ASSESSMENTS   | 1,492.32            | 750                      | 742.32             | 1,800            | 307.68                    |
| 10.00                       | 50                      | (40.00)            | 14110         | KEY REVENUE                        | 130.00              | 250                      | (120.00)           | 600              | 470.00                    |
| 685.00                      | 350                     | 335.00             | 14113         | CLUBHOUSE RENTAL                   | 3,130.00            | 1,750                    | 1,380.00           | 4,200            | 1,070.00                  |
| 0.00                        | 0                       | 0.00               | 14116         | CC&R VIOLATIONS/FINES              | 1,237.74            | 0                        | 1,237.74           | 0                | (1,237.74)                |
| 0.00                        | 1,400                   | (1,400.00)         | 14122         | INSURANCE REIMBURSEMENT            | 953.00              | 7,000                    | (6,047.00)         | 16,800           | 15,847.00                 |
| 457.86                      | 0                       | 457.86             | 14162         | OPERATING INTEREST REVENUE         | 905.77              | 0                        | 905.77             | 0                | (905.77)                  |
| 11,937.39                   | 0                       | 11,937.39          | 14163         | RESERVE INTEREST REVENUE           | 118,492.00          | 0                        | 118,492.00         | 0                | (118,492.00)              |
| 22,444.10                   | 24,190                  | (1,745.90)         | 14309         | WATER REIMBURSEMENTS               | 118,153.00          | 120,950                  | (2,797.00)         | 290,280          | 172,127.00                |
| <b>405,160.04</b>           | <b>416,950</b>          | <b>(11,789.96)</b> |               | <b>TOTAL REVENUE</b>               | <b>2,201,055.99</b> | <b>2,084,750</b>         | <b>116,305.99</b>  | <b>5,003,400</b> | <b>2,802,344.01</b>       |
| <b>RESERVE CONTRIBUTION</b> |                         |                    |               |                                    |                     |                          |                    |                  |                           |
| 272.00                      | 272                     | 0.00               | 19572         | GYM/WORKOUT FACILITIES RESERVES    | 952.00              | 1,360                    | 408.00             | 3,264            | 2,312.00                  |
| 123.00                      | 123                     | 0.00               | 19660         | PAINTING-INTERIOR RES              | 430.50              | 615                      | 184.50             | 1,476            | 1,045.50                  |
| 2,100.00                    | 2,100                   | 0.00               | 19714         | CONCRETE REPAIR RESERVE            | 7,350.00            | 10,500                   | 3,150.00           | 25,200           | 17,850.00                 |
| 11,937.39                   | 0                       | (11,937.39)        | 19803         | GENERAL RESERVE INTEREST           | 118,492.00          | 0                        | (118,492.00)       | 0                | (118,492.00)              |
| 65,000.00                   | 65,000                  | 0.00               | 19820         | ROOF RESERVE                       | 227,500.00          | 325,000                  | 97,500.00          | 780,000          | 552,500.00                |
| 2,073.00                    | 2,073                   | 0.00               | 19822         | POOL/SPA RESERVE                   | 7,255.50            | 10,365                   | 3,109.50           | 24,876           | 17,620.50                 |
| 7,024.00                    | 7,024                   | 0.00               | 19827         | FENCING RESERVE                    | 24,584.00           | 35,120                   | 10,536.00          | 84,288           | 59,704.00                 |
| 2,462.00                    | 2,462                   | 0.00               | 19833         | IRRIGATION RESERVE                 | 8,617.00            | 12,310                   | 3,693.00           | 29,544           | 20,927.00                 |
| 581.00                      | 581                     | 0.00               | 19846         | SIGN RESERVE                       | 2,033.50            | 2,905                    | 871.50             | 6,972            | 4,938.50                  |
| 10,820.00                   | 10,820                  | 0.00               | 19878         | PAVING RESERVE                     | 37,870.00           | 54,100                   | 16,230.00          | 129,840          | 91,970.00                 |
| 152.00                      | 152                     | 0.00               | 19899         | RESERVE STUDY                      | 532.00              | 760                      | 228.00             | 1,824            | 1,292.00                  |
| 0.00                        | 0                       | 0.00               | 19901         | PRIOR YR FUNDING                   | 197,594.00          | 0                        | (197,594.00)       | 0                | (197,594.00)              |
| 277.00                      | 277                     | 0.00               | L19833        | OUTDOOR EQUIPMENT RSRV             | 969.50              | 1,385                    | 415.50             | 3,324            | 2,354.50                  |
| 12,308.00                   | 12,308                  | 0.00               | L19835        | PAINTING EXTERIOR RESERVE          | 43,078.00           | 61,540                   | 18,462.00          | 147,696          | 104,618.00                |
| 37,367.00                   | 37,367                  | 0.00               | L19836        | STRUCTURAL REPAIRS RSRV            | 130,784.50          | 186,835                  | 56,050.50          | 448,404          | 317,619.50                |
| 1,900.00                    | 1,900                   | 0.00               | N19611        | UNDERGROUND UTILITY REPR RSV       | 6,650.00            | 9,500                    | 2,850.00           | 22,800           | 16,150.00                 |
| 652.00                      | 652                     | 0.00               | N19691        | POLE LIGHT REPR RSV                | 2,282.00            | 3,260                    | 978.00             | 7,824            | 5,542.00                  |
| 1,645.00                    | 1,645                   | 0.00               | N19717        | CLBHOUSE REMODEL INTERIOR RENOVATI | 5,757.50            | 8,225                    | 2,467.50           | 19,740           | 13,982.50                 |
| 325.00                      | 325                     | 0.00               | N19830        | MISCELLANEOUS RSV                  | 1,137.50            | 1,625                    | 487.50             | 3,900            | 2,762.50                  |
| 1,339.00                    | 1,339                   | 0.00               | N19974        | COMMON TENNIS CRT RSV              | 4,686.50            | 6,695                    | 2,008.50           | 16,068           | 11,381.50                 |
| 13,500.00                   | 13,500                  | 0.00               | N19975        | GROUNDS RSV                        | 47,250.00           | 67,500                   | 20,250.00          | 162,000          | 114,750.00                |
| 13,560.00                   | 13,560                  | 0.00               | N19982        | TREE REM/ ANNL MAINT RSV           | 47,460.00           | 67,800                   | 20,340.00          | 162,720          | 115,260.00                |
| <b>185,417.39</b>           | <b>173,480</b>          | <b>(11,937.39)</b> |               | <b>TOTAL RESERVE CONTRIBUTION</b>  | <b>923,266.00</b>   | <b>867,400</b>           | <b>(55,866.00)</b> | <b>2,081,760</b> | <b>1,158,494.00</b>       |
| <b>219,742.65</b>           | <b>243,470</b>          | <b>(23,727.35)</b> |               | <b>AVAILABLE OPERATING REVENUE</b> | <b>1,277,789.99</b> | <b>1,217,350</b>         | <b>60,439.99</b>   | <b>2,921,640</b> | <b>1,643,850.01</b>       |
| <b>OPERATING EXPENSES</b>   |                         |                    |               |                                    |                     |                          |                    |                  |                           |

NEPENTHE ASSOCIATION  
INCOME STATEMENT  
05/31/2025

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c/o FirstService Residential  
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| -----<br>ACTUAL                     | ---MONTH---<br>BUDGETED | -----<br>VARIANCE | G/L<br>NUMBER | DESCRIPTION                   | -----<br>ACTUAL   | YEAR TO DATE<br>BUDGETED | -----<br>VARIANCE  | ANNUAL<br>BUDGET | \$ REMAINING<br>IN BUDGET |
|-------------------------------------|-------------------------|-------------------|---------------|-------------------------------|-------------------|--------------------------|--------------------|------------------|---------------------------|
| <b>UTILITIES</b>                    |                         |                   |               |                               |                   |                          |                    |                  |                           |
| 0.00                                | 4,337                   | 4,337.00          | 15101         | ELECTRICITY                   | 17,470.17         | 21,685                   | 4,214.83           | 52,044           | 34,573.83                 |
| 1,483.88                            | 2,164                   | 680.12            | 15102         | GAS                           | 13,422.39         | 10,820                   | (2,602.39)         | 25,968           | 12,545.61                 |
| 582.53                              | 510                     | (72.53)           | 15103         | REFUSE COLLECTION             | 3,278.49          | 2,550                    | (728.49)           | 6,120            | 2,841.51                  |
| (9.39)                              | 0                       | 9.39              | 15104         | SEWER                         | 0.00              | 0                        | 0.00               | 0                | 0.00                      |
| 164.24                              | 172                     | 7.76              | 15105         | TELEPHONE EXPENSE             | 821.20            | 860                      | 38.80              | 2,064            | 1,242.80                  |
| 2,678.74                            | 5,865                   | 3,186.26          | 15106         | WATER                         | 24,178.24         | 29,325                   | 5,146.76           | 70,380           | 46,201.76                 |
| 24,211.24                           | 23,600                  | (611.24)          | 15106R        | REIMBURSABLE WATER USAGE      | 77,030.68         | 118,000                  | 40,969.32          | 283,200          | 206,169.32                |
| 978.90                              | 540                     | (438.90)          | 15155         | INTERNET EXPENSE              | 4,151.67          | 2,700                    | (1,451.67)         | 6,480            | 2,328.33                  |
| <b>30,090.14</b>                    | <b>37,188</b>           | <b>7,097.86</b>   |               | <b>TOTAL UTILITIES</b>        | <b>140,352.84</b> | <b>185,940</b>           | <b>45,587.16</b>   | <b>446,256</b>   | <b>305,903.16</b>         |
| <b>LAND MAINTENANCE</b>             |                         |                   |               |                               |                   |                          |                    |                  |                           |
| 48,880.00                           | 48,880                  | 0.00              | 15500         | CONTRACT LANDSCAPE SERVICE    | 247,400.00        | 244,400                  | (3,000.00)         | 586,560          | 339,160.00                |
| <b>48,880.00</b>                    | <b>48,880</b>           | <b>0.00</b>       |               | <b>TOTAL LAND MAINTENANCE</b> | <b>247,400.00</b> | <b>244,400</b>           | <b>(3,000.00)</b>  | <b>586,560</b>   | <b>339,160.00</b>         |
| <b>COMMON AREA</b>                  |                         |                   |               |                               |                   |                          |                    |                  |                           |
| 4,350.00                            | 3,475                   | (875.00)          | 16020         | CONTRACT POOL/SPA SERVICE     | 20,700.00         | 17,375                   | (3,325.00)         | 41,700           | 21,000.00                 |
| 0.00                                | 85                      | 85.00             | 16022         | POOL EQUIPMENT REPAIR         | 0.00              | 425                      | 425.00             | 1,020            | 1,020.00                  |
| 0.00                                | 210                     | 210.00            | 16027         | POOL INSPECTION               | 2,672.00          | 1,050                    | (1,622.00)         | 2,520            | (152.00)                  |
| 6,325.00                            | 210                     | (6,115.00)        | 18457         | PLUMBING REPAIR               | 16,975.00         | 1,050                    | (15,925.00)        | 2,520            | (14,455.00)               |
| (141.00)                            | 0                       | 141.00            | 18501         | EXPENSES TO BE REIMBURSED     | (141.00)          | 0                        | 141.00             | 0                | 141.00                    |
| 121.10                              | 1,300                   | 1,178.90          | 18524         | MATERIAL SUPPLIES             | 812.66            | 6,500                    | 5,687.34           | 15,600           | 14,787.34                 |
| 450.00                              | 335                     | (115.00)          | 18526         | PEST CONTROL                  | 2,895.00          | 1,675                    | (1,220.00)         | 4,020            | 1,125.00                  |
| 2,490.00                            | 2,657                   | 167.00            | 18531         | JANITORIAL SERVICE            | 12,575.00         | 13,285                   | 710.00             | 31,884           | 19,309.00                 |
| 1,071.26                            | 192                     | (879.26)          | 18532         | JANITORIAL SUPPLIES           | 1,599.77          | 960                      | (639.77)           | 2,304            | 704.23                    |
| 0.00                                | 65                      | 65.00             | 18534         | FIRE EXTINGUISHER SERVICE     | 291.13            | 325                      | 33.87              | 780              | 488.87                    |
| 0.00                                | 0                       | 0.00              | 18544         | LIGHT REPAIRS                 | 1,267.00          | 0                        | (1,267.00)         | 0                | (1,267.00)                |
| 707.00                              | 700                     | (7.00)            | 18579         | PATROL SERVICE                | 3,673.64          | 3,500                    | (173.64)           | 8,400            | 4,726.36                  |
| 380.00                              | 9,833                   | 9,453.00          | 18736         | GUTTER & DOWNSPOUT CLEANING   | 62,640.00         | 49,165                   | (13,475.00)        | 117,996          | 55,356.00                 |
| 4,470.44                            | 4,166                   | (304.44)          | 18767         | REPAIR & MAINTENANCE          | 26,940.06         | 20,830                   | (6,110.06)         | 49,992           | 23,051.94                 |
| 0.00                                | 709                     | 709.00            | 18771         | BACKFLOW DEVICE TEST          | 81.00             | 3,545                    | 3,464.00           | 8,508            | 8,427.00                  |
| 214.72                              | 140                     | (74.72)           | 18905         | KITCHEN SUPPLIES              | 700.24            | 700                      | (0.24)             | 1,680            | 979.76                    |
| 166.38                              | 85                      | (81.38)           | 18986         | FITNESS CONTRACT              | 672.32            | 425                      | (247.32)           | 1,020            | 347.68                    |
| <b>20,604.90</b>                    | <b>24,162</b>           | <b>3,557.10</b>   |               | <b>TOTAL COMMON AREA</b>      | <b>154,353.82</b> | <b>120,810</b>           | <b>(33,543.82)</b> | <b>289,944</b>   | <b>135,590.18</b>         |
| <b>MANAGEMENT/ON-SITE ADMIN EXP</b> |                         |                   |               |                               |                   |                          |                    |                  |                           |
| 150.00                              | 200                     | 50.00             | 18001         | COMMUNITY WEBSITE             | 1,978.88          | 1,000                    | (978.88)           | 2,400            | 421.12                    |
| 0.00                                | 100                     | 100.00            | 18003         | COMMUNITY EVENTS/PROGRAMS     | 214.94            | 500                      | 285.06             | 1,200            | 985.06                    |
| 7,800.00                            | 8,190                   | 390.00            | 19109         | CONTRACT MANAGEMENT           | 39,000.00         | 40,950                   | 1,950.00           | 98,280           | 59,280.00                 |
| 0.00                                | 181                     | 181.00            | 19101         | CPA SERVICES                  | 2,170.00          | 905                      | (1,265.00)         | 2,172            | 2.00                      |
| (110,314.00)                        | 0                       | 110,314.00        | 19104         | FEDERAL TAX EXPENSE           | 0.00              | 0                        | 0.00               | 0                | 0.00                      |

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| -----<br>ACTUAL    | ---MONTH---<br>BUDGETED | -----<br>VARIANCE | G/L<br>NUMBER | DESCRIPTION                             | -----<br>ACTUAL     | YEAR TO DATE<br>BUDGETED | -----<br>VARIANCE | ANNUAL<br>BUDGET | \$ REMAINING<br>IN BUDGET |
|--------------------|-------------------------|-------------------|---------------|-----------------------------------------|---------------------|--------------------------|-------------------|------------------|---------------------------|
| (300.00)           | 0                       | 300.00            | 19105         | FRANCHISE TAX BOARD                     | 0.00                | 0                        | 0.00              | 0                | 0.00                      |
| 0.00               | 25                      | 25.00             | 19106         | TAXES & LICENSES                        | (1,260.00)          | 125                      | 1,385.00          | 300              | 1,560.00                  |
| 0.00               | 1,675                   | 1,675.00          | 19108         | GENERAL COUNSEL SERVICE                 | 4,094.02            | 8,375                    | 4,280.98          | 20,100           | 16,005.98                 |
| 3,499.50           | 3,334                   | (165.50)          | 19111         | MANAGEMENT REIMBURSABLE                 | 20,951.43           | 16,670                   | (4,281.43)        | 40,008           | 19,056.57                 |
| 0.00               | 21                      | 21.00             | 19112         | POSTAGE, ON-SITE                        | 221.55              | 105                      | (116.55)          | 252              | 30.45                     |
| 0.00               | 100                     | 100.00            | 19117         | DUES & PUBLICATIONS                     | 625.00              | 500                      | (125.00)          | 1,200            | 575.00                    |
| 35.00              | 35                      | 0.00              | 19119         | BANK FEES                               | 175.00              | 175                      | 0.00              | 420              | 245.00                    |
| 7,528.67           | 16,625                  | 9,096.33          | 19124         | ON-SITE STAFF                           | 73,538.08           | 83,125                   | 9,586.92          | 199,500          | 125,961.92                |
| 0.00               | 583                     | 583.00            | 17209         | PAYROLL PROCESSING FEES                 | 1,560.00            | 2,915                    | 1,355.00          | 6,996            | 5,436.00                  |
| (563.39)           | 0                       | 563.39            | 19126         | DELINQUENCY MONITORING                  | (7,212.66)          | 0                        | 7,212.66          | 0                | 7,212.66                  |
| 0.00               | 100                     | 100.00            | 19132         | OPERATING CONTINGENCY                   | 3,124.57            | 500                      | (2,624.57)        | 1,200            | (1,924.57)                |
| 0.00               | 0                       | 0.00              | 19143         | LEGAL-COLLECTIONS                       | (511.08)            | 0                        | 511.08            | 0                | 511.08                    |
| 519.75             | 317                     | (202.75)          | 19172         | ACCOUNTING REIMBURSABLES                | 4,231.75            | 1,585                    | (2,646.75)        | 3,804            | (427.75)                  |
| 760.00             | 125                     | (635.00)          | 19174         | AMS COLLECTION EXPENSE                  | 1,699.81            | 625                      | (1,074.81)        | 1,500            | (199.81)                  |
| 0.00               | 85                      | 85.00             | 19178         | PROPERTY TAX                            | 2,713.07            | 425                      | (2,288.07)        | 1,020            | (1,693.07)                |
| 4,282.79           | 7,773                   | 3,490.21          | 19247         | PAYROLL TAXES & BENEFITS                | 42,710.84           | 38,865                   | (3,845.84)        | 93,276           | 50,565.16                 |
| 0.00               | 125                     | 125.00            | 19295         | ON-SITE OFFICE SUPPLIES                 | 1,006.09            | 625                      | (381.09)          | 1,500            | 493.91                    |
| 670.11             | 645                     | (25.11)           | 19382         | COPIER LEASE                            | 2,379.15            | 3,225                    | 845.85            | 7,740            | 5,360.85                  |
| <b>(85,931.57)</b> | <b>40,239</b>           | <b>126,170.57</b> |               | <b>TOTAL MANAGEMENT/ON-SITE ADMIN E</b> | <b>193,410.44</b>   | <b>201,195</b>           | <b>7,784.56</b>   | <b>482,868</b>   | <b>289,457.56</b>         |
|                    |                         |                   |               | <b>INSURANCE</b>                        |                     |                          |                   |                  |                           |
| 59,882.95          | 59,426                  | (456.95)          | 19107         | INSURANCE                               | 299,414.75          | 297,130                  | (2,284.75)        | 713,112          | 413,697.25                |
| 0.00               | 33,575                  | 33,575.00         | DC19307       | FLOOD INSURANCE                         | 67,536.00           | 167,875                  | 100,339.00        | 402,900          | 335,364.00                |
| <b>59,882.95</b>   | <b>93,001</b>           | <b>33,118.05</b>  |               | <b>TOTAL INSURANCE</b>                  | <b>366,950.75</b>   | <b>465,005</b>           | <b>98,054.25</b>  | <b>1,116,012</b> | <b>749,061.25</b>         |
| <b>73,526.42</b>   | <b>243,470</b>          | <b>169,943.58</b> |               | <b>TOTAL OPERATING EXPENSES</b>         | <b>1,102,467.85</b> | <b>1,217,350</b>         | <b>114,882.15</b> | <b>2,921,640</b> | <b>1,819,172.15</b>       |
| 146,216.23         | 0                       | 146,216.23        |               | <b>NET INCOME/(LOSS)</b>                | 175,322.14          | 0                        | 175,322.14        | 0                | (175,322.14)              |

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15241 Laguna Canyon Rd  
Irvine CA 92618

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15241 Laguna Canyon Road  
Irvine CA 92618

|                                       | Jun           | Jul           | Aug           | Sep                      | Oct           | Nov           | Dec           | Jan           | Feb           | Mar           | Apr           | May           | TOTAL          |
|---------------------------------------|---------------|---------------|---------------|--------------------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|----------------|
| <b>REVENUE</b>                        |               |               |               |                          |               |               |               |               |               |               |               |               |                |
| 14000 HOMEOWNER ASSESSMENT REVENUE    | 349054        | 378288        | 350317        | 360084                   | 375307        | 347324        | 371555        | 403307        | 374991        | 413148        | 389397        | 369557        | 4482331        |
| 14087 EASEMENT AGREEMENT              | 0             | 0             | 3233          | 0                        | 0             | 6218          | 0             | 0             | 0             | 6161          | 0             | 0             | 15612          |
| 14101 INTEREST ON PAST DUE ASSESMEN   | 450           | 31            | 71            | 115                      | 786           | 62            | 262           | 413           | 733           | 240           | 37            | 68            | 3268           |
| 14110 KEY REVENUE                     | 145           | 85            | 40            | 50                       | 80            | 20            | 10            | 70            | 40            | 0             | 10            | 10            | 560            |
| 14113 CLUBHOUSE RENTAL                | 1835          | -625          | 995           | 415                      | 555           | 930           | 1370          | 675           | 390           | 1035          | 345           | 685           | 8605           |
| 14116 CC&R VIOLATIONS/FINES           | 0             | 596           | 682           | 658                      | 1393          | 20            | 558           | 540           | 0             | 68            | 630           | 0             | 5145           |
| 14121 INTEREST REVENUE                | 0             | 0             | 0             | 0                        | 0             | 230           | 0             | 0             | 0             | 0             | 0             | 0             | 230            |
| 14122 INSURANCE REIMBURSEMENT         | 0             | 10800         | 450           | -225                     | 0             | 450           | 225           | 0             | 953           | 0             | 0             | 0             | 12653          |
| 14132 MISCELLANEOUS REVENUE           | 0             | 0             | 0             | 0                        | 60            | 0             | 0             | 0             | 0             | 0             | 0             | 0             | 60             |
| 14162 OPERATING INTEREST REVENUE      | 235           | 243           | 273           | 254                      | 246           | 0             | 72            | 2             | 2             | 176           | 267           | 458           | 2228           |
| 14163 RESERVE INTEREST REVENUE        | 37279         | 38608         | 19567         | 43106                    | 15486         | 49948         | 49041         | 31993         | 26319         | 20836         | 27406         | 11937         | 371526         |
| 14357 RESERVE CONTRIBUTION            | 0             | 0             | 0             | 750                      | 465           | 0             | 0             | 0             | 0             | 0             | 0             | 0             | 1215           |
| 14309 WATER REIMBURSEMENTS            | 0             | 0             | 0             | 0                        | 0             | 41            | 1230          | 23816         | 23014         | 25082         | 23797         | 22444         | 119424         |
| <b>TOTAL REVENUE</b>                  | <b>388998</b> | <b>428026</b> | <b>375627</b> | <b>405207</b>            | <b>394377</b> | <b>405242</b> | <b>424324</b> | <b>460817</b> | <b>426442</b> | <b>466746</b> | <b>441890</b> | <b>405160</b> | <b>5022857</b> |
| <b>RESERVE CONTRIBUTION</b>           |               |               |               |                          |               |               |               |               |               |               |               |               |                |
| 19572 GYM/WORKOUT FACILITIES RESERVE  | 136           | 272           | 544           | 408                      | 0             | 272           | 0             | 0             | 272           | 136           | 272           | 272           | 2584           |
| 19660 PAINTING-INTERIOR RES           | 101           | 202           | 404           | 303                      | 0             | 202           | 0             | 0             | 123           | 62            | 123           | 123           | 1643           |
| 19714 CONCRETE REPAIR RESERVE         | 1050          | 2100          | 4200          | 3150                     | 0             | 2100          | 0             | 0             | 2100          | 1050          | 2100          | 2100          | 19950          |
| 19803 GENERAL RESERVE INTEREST        | 37279         | 38608         | 19567         | 43106                    | 15486         | 49948         | 49041         | 31993         | 26319         | 20836         | 27406         | 11937         | 371526         |
| 19820 ROOF RESERVE                    | 35016         | 70032         | 140064        | 105048                   | 0             | 70032         | 0             | 0             | 65000         | 32500         | 65000         | 65000         | 647692         |
| 19822 POOL/SPA RESERVE                | 1350          | 2700          | 5400          | 4050                     | 0             | 2700          | 0             | 0             | 2073          | 1037          | 2073          | 2073          | 23456          |
| 19827 FENCING RESERVE                 | 3293          | 6585          | 13170         | 9878                     | 0             | 6585          | 0             | 0             | 7024          | 3512          | 7024          | 7024          | 64094          |
| 19833 IRRIGATION RESERVE              | 7807          | 15614         | 31228         | 23421                    | 0             | 15614         | 0             | 0             | 2462          | 1231          | 2462          | 2462          | 102301         |
| 19846 SIGN RESERVE                    | 291           | 581           | 1162          | 872                      | 0             | 581           | 0             | 0             | 581           | 291           | 581           | 581           | 5520           |
| 19878 PAVING RESERVE                  | 5410          | 10820         | 21640         | 16230                    | 0             | 10820         | 0             | 0             | 10820         | 5410          | 10820         | 10820         | 102790         |
| 19899 RESERVE STUDY                   | 76            | 152           | 304           | 228                      | 0             | 152           | 0             | 0             | 152           | 76            | 152           | 152           | 1444           |
| 19901 PRIOR YR FUNDING                | 0             | 0             | 0             | 0                        | 0             | 0             | 0             | 0             | 0             | 197594        | 0             | 0             | 197594         |
| L19833 OUTDOOR EQUIPMENT RSRV         | 2             | 4             | 8             | 6                        | 0             | 4             | 0             | 0             | 277           | 139           | 277           | 277           | 994            |
| L19835 PAINTING EXTERIOR RESERVE      | 6154          | 12308         | 24616         | 18462                    | 0             | 12308         | 0             | 0             | 12308         | 6154          | 12308         | 12308         | 116926         |
| L19836 STRUCTURAL REPAIRS RSRV        | 18684         | 37367         | 74734         | 56051                    | 465           | 37367         | 0             | 0             | 37367         | 18684         | 37367         | 37367         | 355451         |
| N19611 UNDERGROUND UTILITY REPR RSV   | 1267          | 2533          | 5066          | 3800                     | 0             | 2533          | 0             | 0             | 1900          | 950           | 1900          | 1900          | 21848          |
| N19691 POLE LIGHT REPR RSV            | 289           | 578           | 1156          | 867                      | 0             | 578           | 0             | 0             | 652           | 326           | 652           | 652           | 5750           |
| N19717 CLBHOUSE REMODEL INTERIOR RENO | 1473          | 2945          | 5890          | 4418                     | 0             | 2945          | 0             | 0             | 1645          | 823           | 1645          | 1645          | 23428          |
| N19830 MISCELLANEOUS RSV              | 102           | 204           | 408           | 306                      | 0             | 204           | 0             | 0             | 325           | 163           | 325           | 325           | 2362           |
| N19974 COMMON TENNIS CRT RSV          | 670           | 1339          | 2678          | 2009                     | 0             | 1339          | 0             | 0             | 1339          | 670           | 1339          | 1339          | 12721          |
| N19975 GROUNDS RSV                    | 7807          | 15614         | 31228         | 24171                    | 0             | 15614         | 0             | 0             | 13500         | 6750          | 13500         | 13500         | 141684         |
| N19982 TREE REM/ ANNL MAINT RSV       | 7807          | 15614         | 31228         | 23421                    | 0             | 15614         | 0             | 0             | 13560         | 6780          | 13560         | 13560         | 141144         |
| <b>TOTAL RESERVE CONTRIBUTION</b>     | <b>136061</b> | <b>236172</b> | <b>414695</b> | <b>340202</b>            | <b>15951</b>  | <b>247512</b> | <b>49041</b>  | <b>31993</b>  | <b>199799</b> | <b>305170</b> | <b>200886</b> | <b>185417</b> | <b>2362899</b> |
| <b>AVAILABLE OPERATING REVENUE</b>    | <b>252938</b> | <b>191854</b> | <b>-39067</b> | <b>65005<sub>9</sub></b> | <b>378427</b> | <b>157731</b> | <b>375282</b> | <b>428824</b> | <b>226643</b> | <b>161577</b> | <b>241004</b> | <b>219743</b> | <b>2659958</b> |

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INCOME STATEMENT FOR 12 MONTHS ENDING  
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c/o FirstService Residential  
15241 Laguna Canyon Rd  
Irvine CA 92618

FirstService Residential CA  
15241 Laguna Canyon Road  
Irvine CA 92618

|                                     | Jun          | Jul          | Aug          | Sep          | Oct          | Nov          | Dec          | Jan          | Feb          | Mar          | Apr          | May          | TOTAL  |
|-------------------------------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------|
| <b>OPERATING EXPENSES</b>           |              |              |              |              |              |              |              |              |              |              |              |              |        |
| <b>UTILITIES</b>                    |              |              |              |              |              |              |              |              |              |              |              |              |        |
| 15101 ELECTRICITY                   | 3685         | 4124         | 4298         | 4328         | 4341         | 3546         | 3854         | 3698         | 3373         | 3712         | 6688         | 0            | 45646  |
| 15102 GAS                           | 2074         | 869          | 565          | 1313         | 1894         | 3406         | 2333         | 3026         | 3291         | 3247         | 2375         | 1484         | 25876  |
| 15103 REFUSE COLLECTION             | 3715         | 612          | -2613        | 1419         | 694          | 694          | 764          | 683          | 683          | 696          | 634          | 583          | 8564   |
| 15104 SEWER                         | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 9            | -9           | 0      |
| 15105 TELEPHONE EXPENSE             | 164          | 164          | 164          | 164          | 164          | 164          | 164          | 164          | 164          | 164          | 164          | 164          | 1971   |
| 15106 WATER                         | 5001         | 5089         | 5176         | 6116         | 7061         | 6451         | 6018         | 5811         | 6587         | 7280         | 1822         | 2679         | 65091  |
| 15106R REIMBURSABLE WATER USAGE     | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 31450        | 21370        | 24211        | 77031  |
| 15155 INTERNET EXPENSE              | 652          | 752          | 752          | 932          | 752          | 752          | 752          | 1622         | 0            | 776          | 776          | 979          | 9496   |
| <b>TOTAL UTILITIES</b>              | <b>15292</b> | <b>11610</b> | <b>8343</b>  | <b>14272</b> | <b>14906</b> | <b>15013</b> | <b>13885</b> | <b>15003</b> | <b>14098</b> | <b>47325</b> | <b>33837</b> | <b>30090</b> | 233674 |
| <b>LAND MAINTENANCE</b>             |              |              |              |              |              |              |              |              |              |              |              |              |        |
| 15500 CONTRACT LANDSCAPE SERVICE    | 48880        | 48880        | 48880        | 48880        | 48880        | 48880        | 48880        | 51880        | 48880        | 48880        | 48880        | 48880        | 589560 |
| <b>TOTAL LAND MAINTENANCE</b>       | <b>48880</b> | <b>48880</b> | <b>48880</b> | <b>48880</b> | <b>48880</b> | <b>48880</b> | <b>48880</b> | <b>51880</b> | <b>48880</b> | <b>48880</b> | <b>48880</b> | <b>48880</b> | 589560 |
| <b>COMMON AREA</b>                  |              |              |              |              |              |              |              |              |              |              |              |              |        |
| 16020 CONTRACT POOL/SPA SERVICE     | 3525         | 3525         | 3840         | 3675         | 3825         | 3825         | 3525         | 4050         | 4050         | 4050         | 4200         | 4350         | 46440  |
| 16022 POOL EQUIPMENT REPAIR         | 117          | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 117    |
| 16027 POOL INSPECTION               | 1289         | 0            | 0            | 0            | 1306         | 0            | 0            | 0            | 0            | 683          | 1989         | 0            | 5267   |
| 18457 PLUMBING REPAIR               | 0            | 0            | 225          | 1000         | 0            | 0            | 0            | 4300         | 3300         | 3050         | 0            | 6325         | 18200  |
| 18501 EXPENSES TO BE REIMBURSED     | -4860        | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 0            | -141         | -5001  |
| 18524 MATERIAL SUPPLIES             | 524          | 408          | 0            | 887          | 266          | 0            | 0            | 0            | 100          | 405          | 187          | 121          | 2897   |
| 18526 PEST CONTROL                  | 265          | 215          | 365          | 1865         | 815          | 65           | 65           | 1865         | 215          | 150          | 215          | 450          | 6550   |
| 18531 JANITORIAL SERVICE            | 2490         | 5230         | 2490         | 2490         | 2490         | 2490         | 2490         | 2615         | 2490         | 2490         | 2490         | 2490         | 32745  |
| 18532 JANITORIAL SUPPLIES           | 0            | 1013         | 0            | 0            | 792          | 213          | 159          | 0            | 0            | 0            | 529          | 1071         | 3776   |
| 18534 FIRE EXTINGUISHER SERVICE     | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 175          | 0            | 116          | 0            | 0            | 291    |
| 18544 LIGHT REPAIRS                 | 0            | 0            | 490          | 207          | 1443         | 2181         | 0            | 0            | 676          | 130          | 461          | 0            | 5588   |
| 18579 PATROL SERVICE                | 732          | 696          | 732          | 672          | 684          | 720          | 720          | 732          | 808          | 669          | 758          | 707          | 8630   |
| 18736 GUTTER & DOWNSPOUT CLEANING   | 0            | 0            | 0            | 0            | 0            | 0            | 0            | 58800        | 570          | 1370         | 1520         | 380          | 62640  |
| 18767 REPAIR & MAINTENANCE          | 5039         | 3115         | 4365         | 4948         | 3449         | 4355         | 4755         | 5302         | 6472         | 8176         | 2520         | 4470         | 56966  |
| 18771 BACKFLOW DEVICE TEST          | 0            | 0            | 9477         | 1009         | 0            | 0            | 0            | 0            | 0            | 0            | 81           | 0            | 10567  |
| 18905 KITCHEN SUPPLIES              | 374          | 63           | 275          | 0            | 175          | 153          | 0            | 146          | 20           | 162          | 157          | 215          | 1741   |
| 18986 FITNESS CONTRACT              | 115          | 125          | 561          | 115          | 0            | 0            | 0            | 266          | 0            | 125          | 115          | 166          | 1588   |
| <b>TOTAL COMMON AREA</b>            | <b>9609</b>  | <b>14391</b> | <b>22820</b> | <b>16868</b> | <b>15244</b> | <b>14002</b> | <b>11714</b> | <b>78251</b> | <b>18701</b> | <b>21576</b> | <b>15221</b> | <b>20605</b> | 259001 |
| <b>MANAGEMENT/ON-SITE ADMIN EXP</b> |              |              |              |              |              |              |              |              |              |              |              |              |        |
| 18001 COMMUNITY WEBSITE             | 150          | 150          | 2275         | 150          | 150          | 150          | 150          | 1230         | 150          | 299          | 150          | 150          | 5154   |

NEPENTHE ASSOCIATION  
INCOME STATEMENT FOR 12 MONTHS ENDING  
05/31/2025

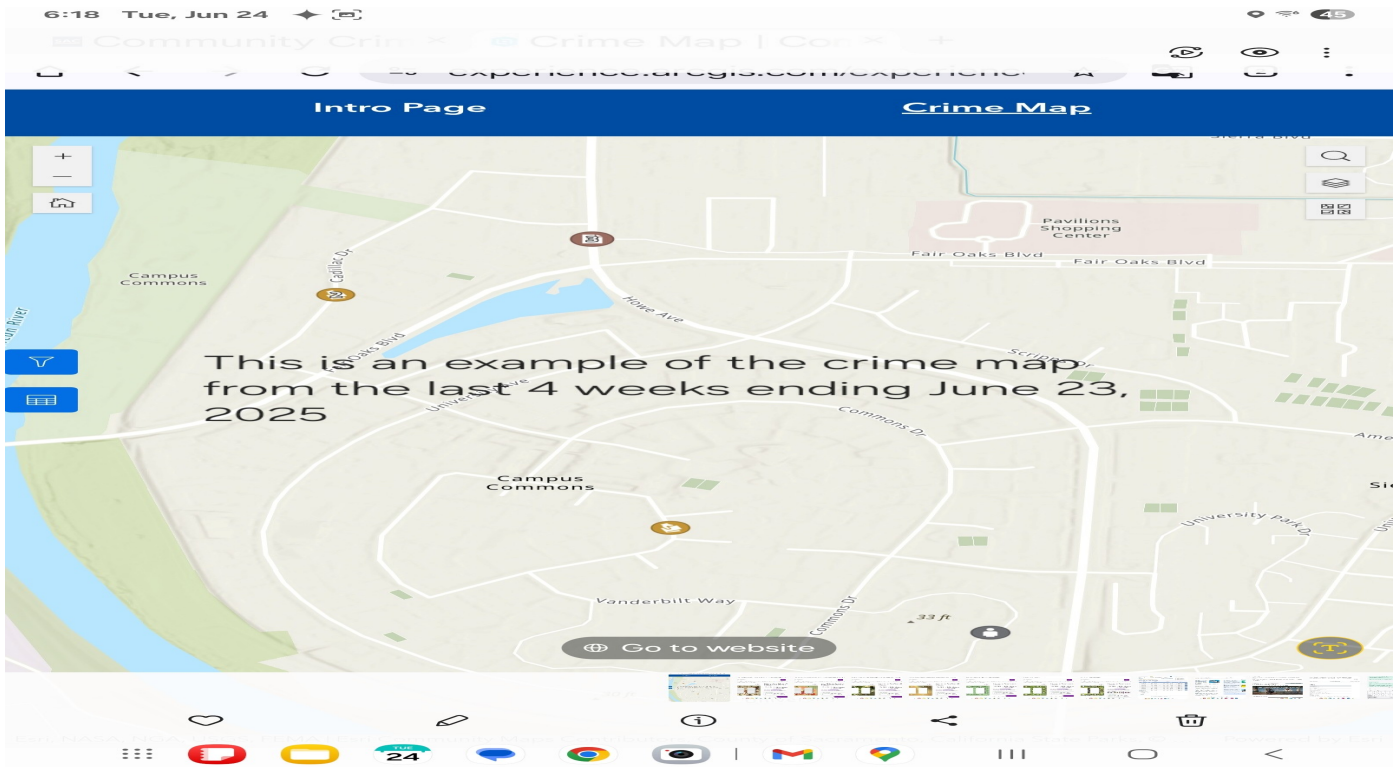
06/13/2025 9:02 AM Page: EA 3

c/o FirstService Residential  
15241 Laguna Canyon Rd  
Irvine CA 92618

FirstService Residential CA  
15241 Laguna Canyon Road  
Irvine CA 92618

|                                     | Jun           | Jul           | Aug            | Sep            | Oct           | Nov           | Dec           | Jan           | Feb           | Mar           | Apr           | May           | TOTAL   |
|-------------------------------------|---------------|---------------|----------------|----------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------|
| 18003 COMMUNITY EVENTS/PROGRAMS     | -855          | 0             | 0              | 0              | 0             | -500          | 0             | 0             | 0             | 0             | 215           | 0             | -1140   |
| 19109 CONTRACT MANAGEMENT           | 7800          | 7800          | 7800           | 7800           | 7800          | 7800          | 7800          | 7800          | 7800          | 7800          | 7800          | 7800          | 93600   |
| 19101 CPA SERVICES                  | 0             | 0             | 0              | 0              | 0             | 0             | 0             | 0             | 0             | 2170          | 0             | 0             | 2170    |
| 19104 FEDERAL TAX EXPENSE           | 41760         | 0             | -175800        | 0              | 41760         | 0             | -41760        | 0             | 0             | 0             | 110314        | -110314       | -134040 |
| 19105 FRANCHISE TAX BOARD           | 10850         | 0             | -47734         | 0              | 10850         | 0             | -10850        | 0             | 0             | 0             | 300           | -300          | -36884  |
| 19106 TAXES & LICENSES              | 0             | -362          | 0              | 0              | 0             | 0             | 0             | 0             | 0             | -1260         | 0             | 0             | -1622   |
| 19108 GENERAL COUNSEL SERVICE       | 1886          | 3642          | 6298           | 1850           | 0             | 1185          | 2050          | 2281          | 0             | 1751          | 62            | 0             | 21005   |
| 19111 MANAGEMENT REIMBURSABLE       | 3610          | 3645          | 3610           | 3610           | 4510          | 3610          | 740           | 6953          | 3500          | 3500          | 3500          | 3500          | 44283   |
| 19112 POSTAGE, ON-SITE              | 0             | 0             | 0              | 222            | 0             | 0             | 0             | 0             | 0             | 222           | 0             | 0             | 443     |
| 19117 DUES & PUBLICATIONS           | 0             | 0             | 0              | 0              | 0             | 0             | 0             | 135           | 0             | 490           | 0             | 0             | 625     |
| 19119 BANK FEES                     | 35            | 35            | 35             | 35             | 35            | 35            | 35            | 47            | 47            | 11            | 35            | 35            | 420     |
| 19124 ON-SITE STAFF                 | 14516         | 14264         | 14382          | 24502          | 14348         | 14182         | 14380         | 21813         | 14483         | 14514         | 15200         | 7529          | 184112  |
| 17209 PAYROLL PROCESSING FEES       | 520           | 520           | 520            | 520            | 520           | 520           | 520           | 520           | 520           | 520           | 0             | 0             | 5200    |
| 19126 DELINQUENCY MONITORING        | -935          | -650          | -546           | -2285          | -3519         | -869          | -1562         | -2714         | -1408         | -1817         | -710          | -563          | -17578  |
| 19132 OPERATING CONTINGENCY         | 0             | 0             | 0              | 1578           | 0             | 10531         | 0             | 0             | 0             | 1522          | 1603          | 0             | 15234   |
| 19143 LEGAL-COLLECTIONS             | 0             | 0             | 0              | 0              | 0             | 0             | 0             | 0             | 0             | 0             | -511          | 0             | -511    |
| 19172 ACCOUNTING REIMBURSABLES      | 368           | 326           | 363            | 446            | 363           | 329           | 0             | 1236          | 1280          | 583           | 613           | 520           | 6426    |
| 19174 AMS COLLECTION EXPENSE        | -48           | 944           | 1564           | 345            | 1455          | 119           | 2193          | 2504          | -632          | -290          | -641          | 760           | 8272    |
| 19178 PROPERTY TAX                  | 0             | 495           | 0              | -142           | 0             | 0             | 0             | 2713          | 0             | 0             | 0             | 0             | 3066    |
| 19247 PAYROLL TAXES & BENEFITS      | 7647          | 7566          | 7604           | 11470          | 8180          | 8071          | 8129          | 12214         | 8786          | 8690          | 8738          | 4283          | 101377  |
| 19295 ON-SITE OFFICE SUPPLIES       | 191           | 92            | 0              | 765            | 111           | 0             | 104           | 390           | 0             | 534           | 82            | 0             | 2269    |
| 19382 COPIER LEASE                  | 89            | 521           | 593            | 61             | 1079          | 700           | 492           | 1147          | 1169          | -938          | 331           | 670           | 5916    |
| <b>TOTAL MANAGEMENT/ON-SITE ADM</b> | <b>87584</b>  | <b>38989</b>  | <b>-179038</b> | <b>50926</b>   | <b>87642</b>  | <b>45863</b>  | <b>-17580</b> | <b>58269</b>  | <b>35694</b>  | <b>38299</b>  | <b>147080</b> | <b>-85932</b> | 307796  |
| <b>INSURANCE</b>                    |               |               |                |                |               |               |               |               |               |               |               |               |         |
| 19107 INSURANCE                     | 16221         | 16221         | 12798          | 19645          | 237403        | 59883         | 59883         | 59883         | 59883         | 59883         | 59883         | 59883         | 721468  |
| DC1930 FLOOD INSURANCE              | 29105         | 29105         | 29105          | 29105          | 29105         | 29105         | 12856         | 30129         | 30371         | 7100          | -64           | 0             | 255022  |
| <b>TOTAL INSURANCE</b>              | <b>45326</b>  | <b>45326</b>  | <b>41903</b>   | <b>48750</b>   | <b>266508</b> | <b>88988</b>  | <b>72738</b>  | <b>90012</b>  | <b>90254</b>  | <b>66983</b>  | <b>59819</b>  | <b>59883</b>  | 976490  |
| <b>TOTAL OPERATING EXPENSES</b>     | <b>206691</b> | <b>159196</b> | <b>-57092</b>  | <b>179696</b>  | <b>433179</b> | <b>212746</b> | <b>129638</b> | <b>293415</b> | <b>207626</b> | <b>223063</b> | <b>304837</b> | <b>73526</b>  | 2366521 |
| <b>NET INCOME/(LOSS)</b>            | <b>45022</b>  | <b>33883</b>  | <b>18025</b>   | <b>-114691</b> | <b>-54753</b> | <b>-55015</b> | <b>245644</b> | <b>135408</b> | <b>19017</b>  | <b>-61486</b> | <b>-63833</b> | <b>146216</b> | 293437  |

**Crime Map.jpg**



## **1. 2025 Community Rules - April 2025.pdf**



## NEPENTHE ASSOCIATION COMMUNITY RULES



## **Nepenthe Association Community Rules**

Using the authority granted to it in Section 6.6. (a)(ii)(E) of the CC&Rs, the Board of Directors may, from time to time, adopt new or revised rules and regulations that change these Community Rules.

All new or revised rules will be incorporated into this document as soon as possible. Members will be notified when a revision of these rules is adopted and will be provided a link to the latest revision on the website. Members who prefer to receive the latest revision of these rules as a printed document may request a printed copy from the Clubhouse front desk.

The latest version of these rules is always available on the Association's website, shown below. A printed copy of the latest version is available for viewing at the front desk.

<http://NepentheHOA.com>

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## **Section 1. Introduction**

The beauty, tranquility, and harmony of design of our community were principal elements in the decision we each made to invest here and make Nepenthe our home. This inspiration also was the focus in creating and revising our Community Rules. It is hoped that these proven standards will preclude problems and enhance our community spirit.

While not all activities and situations are identified herein, these rules provide a simple, reasonable, and effective guideline from which everyone can benefit. Common courtesy, sensible behavior and respect for others remain the best practices in any social environment.

Nepenthe Association is organized as a common interest development under the laws of the State of California. Owning a home within a common interest development is different from owning a standalone dwelling. The Nepenthe Association owns common property, such as our two private streets, the Clubhouse, and various amenities.

Years of experience in common interest developments have shown that it is necessary for the owners of common property to come to an agreement, in writing, on how the jointly owned property should be managed and used. These Community Rules are a part of that agreement. The goals of this document are:

- To enhance each member's enjoyment of their personal residence and the Common Areas and Facilities of the Association.
- To highlight or clarify certain portions of our *Covenants, Conditions, and Restrictions* (CC&Rs).
- To help protect, maintain, and enhance the value of our shared assets.
- To maintain reasonable order and peace within our organization and community.

The *Declaration of Covenants, Conditions, and Restrictions for Nepenthe Association* (CC&Rs), and the *Bylaws of the Nepenthe Association* (Bylaws), are the two legal documents that provide the basis for the creation of "Community Rules." This document is intended to implement applicable provisions from the CC&Rs and the Bylaws as well as additional rules and regulations created by the Nepenthe Association Board of Directors using the authority granted to the Board in CC&Rs, Sec. 6.6. (a)(ii)(E), and in the Bylaws. If any disagreement is discovered among these Community Rules and Regulations, the CC&Rs, and the Bylaws, the language of the CC&Rs and/or the Bylaws prevails.

References given throughout this document in brackets, e.g., {CC&Rs Sec. 6.6. (a)(ii)(E)}, refer to an Article or Section of the Covenants, Conditions, and Restrictions, or CC&Rs. Often, the CC&Rs provide more extensive information on a given subject and should be consulted for complete understanding of a topic.

## **Section 2. Occupancy & Use of Property**

### **2.1. Occupancy {CC&Rs Sec 3.1. (a)}**

No more than two (2) persons per bedroom, plus one (1) additional person per residence, not including temporary guests, may reside in any Lot. In no event shall a Lot be occupied by more individuals than permitted by applicable zoning laws.

### **2.2. Residence Rental and Leasing {CC&Rs Sec. 2.4 & 3.2}**

Residences within Nepenthe may be rented or leased. The following conditions apply to all rentals and leases:

#### **2.2.1. Lease or Rental Agreement {CC&Rs Sec. 3.2.(a)}**

A lease or rental agreement must be in writing, must be for a term of not less than 180 days, and is subject to the Community's governing documents. An Owner is responsible for providing a copy of the CC&Rs, Bylaws and these Community Rules to his/her tenants at the Owner's sole cost. Additionally, an Owner is required to notify management of the names of their tenants.

#### **2.2.2. No Short-Term Leases/Rentals/Time Sharing and No Hotel Services {CC&Rs Sec. 3.2.(b)}**

Any agreement, plan, or arrangement under which the right to use/occupy the Lot that rotates among various persons which includes providing the occupants with customary hotel services, such as room service, maid service or laundry and linen service is prohibited. No subleasing of any Lot shall be permitted except with the written approval of the Board.

#### **2.2.3. Voting and Use Rights {CC&Rs Sec. 2.4.(a) (iii) & (iv)}**

An Owner who leases his/her home retains his/her voting right in the Community Association and is also permitted usage rights of all Common Areas and Facilities while owner of the home. The lessee assumes the privileges and responsibilities of Community Association membership but does not gain a voting right. The vote remains with the Residence's owner. Owners that do not reside in Nepenthe are still permitted to use the Common Area Facilities as are their tenants living in the Development.

### **2.3. Restrictions on Businesses {CC&R Sec. 3.1(b)}**

No business of any kind shall be established, maintained, operated, permitted or conducted in Nepenthe without written approval from the Board, except home offices and/or such professional or administrative businesses as may be permitted by applicable statutes and/or ordinances provided, however, that:

- No external evidence of such business/home office
- No employees coming and going
- No published advertising of the unit address
- Business will not increase Nepenthe's insurance obligations and/or premiums

### **2.4. Resident Registration**

To ensure good communication between the Association and the Residents, all owners and tenants are asked to provide their telephone numbers, email addresses, vehicle information and emergency contacts to Management.

## **2.5. Accessory Dwelling Units and Junior Accessory Dwelling Units**

### **2.5.1. Board Approval Required**

Accessory Dwelling Units (ADUs) and Junior Accessory Dwelling Units (JADUs) are permitted in the Nepenthe Association pursuant to applicable statutes and municipal codes.

### **2.5.2. Homeowners Required to Submit a Home Improvement Application**

Before converting any existing residence and/or garage and starting any construction, homeowners are required to submit a Home Improvement application to the Association for review by the Architectural Review Committee (ARC) and for approval by the Nepenthe Board of Directors. See Rules for Home Improvement on the Architectural Review Committee Homepage. (<https://nepenthehoa.com/architectural-committee/>).

### **2.5.3. Occupancy**

An ADU or JADU is only permitted for an Owner-occupied Lot.

### **2.5.4. Selling a lot with ADU or JADU**

Lot can be sold only to a buyer who intends to occupy the primary residence if that buyer intends to continue renting out the ADU or JADU. An ADU or JADU cannot be sold separately from the primary residence.

### **Section 3. Common Area Rules**

#### **3.1. General**

All real property that is owned, controlled, or maintained by Nepenthe Association is for the common use and enjoyment of the Owners and Residents.

Common Areas include the Common Facilities located thereon. Examples of Common Areas and Common Facilities are:

- Green spaces
- Landscaping outside of the residential units except for backyards and fenced patios.
- Clubhouse, Dunbarton Cabana, Elmhurst pool house, and attendant facilities, parking lots, and landscaping.
- Sports Courts
- Swimming Pools and Spas
- Driveways and Alleys
- Excluding the use of laydown yard on University Avenue
- Excluded are the use of the storage yard on University Avenue and the Elmhurst garage area.

##### **3.1.1. Use of Common Areas {CC&Rs Sec. 3.16}**

The Common Area and Common Facilities are to be used only for purposes originally planned and intended by the builder, except for events approved by Nepenthe. The Clubhouse and other Common Areas cannot be used for any commercial purpose.

##### **3.1.2. Obstruction of Common Areas {CC&Rs Sec. 3.12}**

There can be no obstruction of the Common Area, nor shall anything be stored by Residents in or upon the Common Area without the written consent of the Community Association. A limited number of ornamental pots and decorative items are allowed at entrances to an individual unit. Pots are not permitted in the Common Area.

##### **3.1.3. Conditions Within Perimeter Fences**

Plantings, including trees, shrubs, and vines, can cause significant structural damage not only to the Owner's unit (including fences, siding, roofs, and sidewalks), but also to a neighbor's unit or to the Common Area. Dead or diseased trees and shrubs constitute fire hazards and unsightly conditions necessitating cleanup and maintenance. When such a condition is identified, the Owner shall be notified that unless the condition is eliminated, the Association may exercise its right under Article V, Section 5.1(b) of the CC&Rs to enter the lot of the Owner for the purpose of eliminating the condition and making necessary repairs which the Owner has failed to perform, at the Homeowner's expense.

##### **3.1.4. Alterations to Common Areas {CC&Rs Sec. 3.14}**

No person(s) other than the authorized agents of the Community Association can introduce, remove, or alter any Common Area without written consent of management. This includes planting in the shrub beds around the Residences. Portable toilets are not allowed on the Common Areas, except as approved by the management.

##### **3.1.5. Damage to Common Areas {CC&Rs Sec. 3.17}**

Residents are responsible for payment of the cost of repairs for all damage to the Community Association's property caused by themselves, members of their families or their Guests.

### **3.1.6. Risk and Liability {CC&Rs Sec. 3.17}**

Residents and Guests use the Common Areas at their own risk.

## **3.2. Parking, Streets and Driveways {CC&Rs Sec. 3.3}**

### **3.2.1. Parking**

#### **PRIVATE STREET RESIDENTS**

Minimizing street parking helps improve the aesthetics of our community. Streets are for parking of guests, contractors, and short periods for our residents.

#### **DUNBARTON CIRCLE AND UNIVERSITY AVENUE RESIDENTS**

Parking for owners, other residents and their guests is permitted, except between the hours of 12:00 a.m. and 6:00 a.m., on one side of Dunbarton Circle only, as indicated by the signs posted on those streets. The same rule applies to the guest stalls in the alleys on University Avenue. Public parking in those locations is prohibited.

Each home located on Dunbarton Circle and University Avenue will receive two placards for their overnight guest(s) at no charge. Replacement of lost placards can be obtained at the management office for a fee of \$10. Placards are for guest vehicles only and not for resident vehicles. Placards do not provide for parking on the city streets which are administered by the City of Sacramento.

#### **ELMHURST CIRCLE**

Elmhurst Circle residents are to always park in their garages except for brief loading and unloading. Short term guests are certainly welcome to park on the private streets. Parking permits can be obtained at the management office. Overnight guest permits will be issued for up to 14 days in a single year. Guests are defined as occasional visitors parking for a period of up to 14 days in a single year.

Abuse of guest permits will result in the forfeiture of the guest permit privilege.

Because our private streets are too narrow to allow parking on both sides of the street, private street residents who live on the parking side are asked to bear a disproportionate burden. To improve this situation, residents are reminded to instruct their guests and contractors to not park:

- in front of walkways, especially home entrance walkways
- blocking access to mailboxes
- in front of windows of homes that directly face onto the street

The Board is hoping that general community compliance will avoid the necessity of painted red lines to designate these as No-Parking zones.

#### **PUBLIC STREET RESIDENTS**

Minimizing street parking helps improve the aesthetics of our community. Streets are for parking of guests, contractors, and short periods for our residents.

Residents living on city streets within Nepenthe are to park their cars in garages. Overnight street parking is discouraged. If there are circumstances where overnight parking is necessary, please contact Nepenthe Management.

Residential Parking Permits can be obtained from the City of Sacramento. These allow a resident to park longer than the two-hour limit set by the City on streets within Nepenthe and some surrounding community streets during the hours the City parking restrictions are enforced. Residential Parking Permits do not override the Nepenthe Community documents requiring garage parking nor Nepenthe's encouragement that street parking be limited by residents to guests.

### **3.2.2. Vehicle Codes and Regulations**

All City of Sacramento and State of California vehicle codes apply within Nepenthe.

### **3.2.3. Speed Limit**

The maximum speed limit within the confines of Nepenthe is 25 miles per hour and 10 miles per hour on the two private streets: Dunbarton and Elmhurst Circles.

### **3.2.4. Clubhouse Parking Lot**

Handicapped spaces are to be used only by those who possess a handicap placard. Cars and other motor vehicles must park in designated spaces only.

### **3.2.5. Fire Lanes**

Alleys are considered fire lanes, by law. There is no parking permitted in either fire lanes and alleys. Vehicles parked in the alleys are subject to tow without warning.

### **3.2.6. Commercial Vehicle Parking**

#### **(a) Purpose**

The purpose of these rules is to control the overnight parking of commercial vehicles in Nepenthe which can have a direct and detrimental effect on the character of the neighborhood. As such, the Nepenthe Board of Directors finds that, in order to accommodate the parking needs of residents while protecting the interests of the homeowners, specifically, parking availability for guests and enhanced property values, these rules are desirable and necessary for the parking of commercial vehicles in the community.

These rules are consistent with the Association's CC&Rs, Section 3.1(b), which impose restrictions on businesses being conducted within the development without written approval of the Board, except for home offices and/or such professional or administrative businesses permitted by applicable statutes and/or ordinances provided there is no external evidence of such business/home office (i.e. no increased pedestrian and/or vehicular traffic, no signs, and no activities which are apparent or detectable by sight, sound or smell from outside of the Lot).

#### **(b) Definition of Commercial Vehicles**

For purposes of this rule, "Commercial Vehicles" are defined as any vehicle or trailer which:

1. Is a motor vehicle of a type required to be registered under the California Vehicle Code used or maintained for the transportation of persons for hire, compensations, or profit or designed, used, or maintained primarily for the transportation of property. (Vehicle Code Section 260)

2. Displays the name, insignia and/or logo of a business or other commercial enterprise or employer anywhere on the vehicle (except on its license plate or license plate holder, or as a decal on a windshield or window, and except for passenger vehicles with government designations such as city inspectors, police, fire, etc.).
3. Has a chassis with a capacity of 3/4 ton or larger, such as flatbed trucks, tow trucks, semi trailers, tractor-trailer rigs, and the like.
4. Is any other kind of trailer, wagon or pushcart designed for the hauling or storage of business equipment, tools or materials.
5. Carries equipment, tools, or materials related to a business which are visible from outside the vehicle such as ladders, pool supplies, plumbing equipment or materials, construction materials, landscape equipment or materials, etc.
6. Is over eighteen (18) feet in length, bumper to bumper; or
7. Requires a class A or class B license, or class C license with an endorsement issued pursuant to Vehicle Code Section 15278(a)(2), (3), (4) or (5). (Vehicle Code Section 15210(b)(1))

**(c) Parking Standards for Commercial Vehicles**

Overnight parking of commercial vehicles within the development during the hours of 6:00 PM to 6:00 AM is prohibited.

**3.3. Swimming Pools and Spas**

There are three swim centers. The main Clubhouse pool area contains a heated junior Olympic lap pool, a square, shallow pool and a spa. The Dunbarton pool area has a heated pool and spa. A third unheated pool is located on Elmhurst Circle. The pools can be accessed with the electronic key card that is available to all residents for a \$10 check deposit. If the key card is lost, the replacement is \$25.

**3.3.1. Hours**

Pools are open from 6:00 am to 10:00 pm.

Pools are heated after seven consecutive days of daytime high temperatures over 70 degrees and the heat is turned off after seven consecutive days of nighttime low temperatures below 45 degrees or no later than October 31.

**3.3.2. Rules**

- Pools, spas and pool areas are restricted to Nepenthe residents and their guests.
- Nepenthe residents must accompany their guests in and around the pool areas. Residents are limited to four (4) guests per residence in a pool area at one time.
- Children under 6 are not permitted in the spa. While in the spa, children aged 6-12 should be closely supervised.
- Pregnant women, people with health problems and people using alcohol, narcotics and other drugs that cause drowsiness should not use the spa without first consulting a doctor. Long exposure to hot temperatures can cause dehydration, dizziness, and nausea.
- Quiet hours are from 7:00 pm to 10:00 pm to minimize disturbing residents who live near the pools.
- When not in use for a scheduled activity, lap pool is for swimming laps only.

- For guests who require swim pants or swim diapers, please use best practices which include checking the pants/diapers every 30-60 minutes and changing pants/diapers in the restrooms to allow for handwashing afterwards.
- Food is permitted in plastic containers only and waste is to be disposed of in the provided trash receptacles. Food is only permitted on the pool deck and not in the pool.
- Beverages are allowed in plastic containers only.
- Masks, goggles, swim fins, safety rings and small plastic inner tubes for infants are allowed. All other items, including lap boards, snorkels, bikes, toys, balls, and pool games are prohibited.
- Pets are not allowed in the pools or pool area.
- Running, rough housing and obnoxious behavior are prohibited.
- Acceptable swimming attire only – cutoffs, non-swimming shorts, etc. are not permitted.
- Smoking and “vaping” are not permitted.

The Nepenthe Clubhouse Staff and/or the Nepenthe courtesy patrol service have the responsibility and the final authority to interpret and enforce pool, spa and pool area rules.

Staff and/or security patrol are authorized to deny use of the facilities based on these criteria.

### **3.4. Sport Courts**

Nepenthe has three tennis and pickleball centers; the following procedures and rules pertain to their use. All sports courts are to be used only for their intended purpose. Any other use is prohibited. The Clubhouse courts can be accessed with the electronic key card available at the management office for a small fee. The sports courts near Commons & Vanderbilt and Elmhurst/University use a brass key, also available to residents at the management office.

#### **3.4.1. Permitted Use**

The sports courts are for the exclusive use of Nepenthe Residents and their Guests. Guests using a sports court must always be accompanied by a Resident. Residents are limited to four (4) guests per residence in the sports court at one time. Pets are not permitted on any of the courts.

#### **3.4.2. Hours of Use**

Courts are open from dawn until dusk.

#### **3.4.3. Apparel**

Appropriate apparel is required, and shirts must be worn at all times.

#### **3.4.4. Beverages**

Only non-alcoholic beverages in unbreakable containers can be consumed on the courts.

#### **3.4.5. Special Events**

On occasion, courts will be reserved for club activities or special events. Please consult Management staff to determine court availability.

### **3.5. Clubhouse and Cabana**

#### **3.5.1. Locations and Hours**

The main Nepenthe Clubhouse is located at 1131 Commons Drive and the Dunbarton Cabana is

located at 150 Dunbarton Circle. Operating hours of the Main Clubhouse and the names and positions of staff members can be obtained in the community newsletter and on the website at [www.NepentheHOA.com](http://www.NepentheHOA.com). The Clubhouse phone number is (916) 929-8380. Currently, the Clubhouse is open Monday through Friday from 8:00 am to 5:00 pm.

### **3.5.2. Description of Facilities**

The Clubhouse is equipped with a full-service kitchen, including an electric range, warming drawer, microwave, two refrigerators and an ice maker. There is a large projection screen available. The main lounge is also equipped with a microphone system with 8 microphones.

The main lounge can accommodate up to 88 people standing and up to 50 seated at tables. The small, adjacent library is equipped with four square tables and 16 chairs. The clubhouse can be rented for private events. See section 3.5.4 below.

There is a gym at the Clubhouse available to all residents. It is accessible from 6:00 am to 10:00 pm daily by use of the electronic access key, which can be obtained by homeowners for a \$10 check. The gym has a universal weight machine, two treadmills, two recumbent cycling machines, one upright cycling machine, an elliptical and one stair stepper. A television with remote is also available, as are sanitary wipes for the machines. Further rules are posted in the gym.

The Dunbarton Cabana is not staffed. It has a main room that can accommodate 25 people, a full kitchen, and restrooms. It is used for committee meetings and can be rented for private events. See section 3.5.4 below.

### **3.5.3. Facility Use Procedures, adopted by the Board of Directors on December 3, 2018**

The hierarchy of use for Clubhouse or Cabana is as follows:

1. Board of Directors' Monthly Open Session or other Board business
2. Association/Board Related Events, including Saturday Coffee
3. Residents with an executed Rental Agreement, for non-commercial events
4. Committee Meetings
5. Resident Groups with signed Facility Use Form
6. Approved classes or presentations
7. "Drop in" residents and guests.

The website calendar is used for all events at both facilities. Any resident can access it at [www.NepentheHOA.com/event-calendar](http://www.NepentheHOA.com/event-calendar). Resident groups and committees who meet regularly are required to complete a Facility Use Proposal Form. This form provides management with the information they need to populate the calendar.

From time to time, a special interest group or vendor may approach management to hold a function or class that may be of interest to the residents of Nepenthe. The requestor will be provided with a Facility Use Proposal Form. Should the manager find that the requested event does not conflict with previously scheduled events and will appeal to a broad range of residents, the event will be placed on the calendar with the understanding that insurance requirements must be met.

### **3.5.4. Private Rentals**

Renting the Clubhouse or Dunbarton Cabana is a privilege reserved only for Nepenthe residents. **If a resident chooses to rent one of the facilities on behalf of a friend, the resident is assuming responsibility and must remain at the event the entire time of the rental.**

The Clubhouse can be rented for \$40 per hour. Excluded from the rental are the lobby, management offices, gym, and pool deck. The rental includes the use of six 3'x6' banquet tables and 40 stacking chairs. To reserve the date, a \$100 holding/cleaning deposit is required. This cleaning deposit will be refunded after the event provided no portion of it is required to restore the facility to its "pre-event" standard. Payment for the rental is due at least seven days prior to your event. A One-Day Special Event Certificate of Insurance is required for all rentals. The Rental Agreement can be found at <https://nepenthehoa.com/clubhouse-and-cabana-rentals/> or obtained from the office.

The Dunbarton Cabana has a flat \$35 rental fee for the entire day. A \$75 refundable cleaning deposit is required to hold the date. The pool deck is not included in the rental.

### **3.6. Grounds**

Nepenthe is responsible for all landscaping in the Common Area. The landscape contractor's employees have been instructed to take direction only from Management. Homeowners may not plant anything in the Common Area without Board approval. Nor may homeowners mow, prune, water (except as necessitated by drought with instruction from the Association), fertilize or otherwise cultivate in the Common Area, even if the homeowner planted there with Association approval per the provisions below.

#### **3.6.1. Standards and Practices**

There are Standards & Practices outlined in the Nepenthe Grounds Vision Document. This Document was adopted by the Board of Directors on December 3, 2014. The Grounds Vision Document is available for your review in the Clubhouse library or at: [https://nepenthehoa.com/wp-content/uploads/2015/10/Grounds\\_Vision\\_Document.pdf](https://nepenthehoa.com/wp-content/uploads/2015/10/Grounds_Vision_Document.pdf)

#### **3.6.2. Landscape Requests**

If you believe landscape improvements are needed at your address, please fill out a service request form, available at the clubhouse. If the issue requires immediate review, and the Manager, Board Liaison, and Grounds Chair agree that improvement is needed, a proposal from the landscaper will be solicited. The proposal will be reviewed by the Grounds Committee before it goes to the Board of Directors for final approval. If you note malfunctioning sprinklers or non-functioning light posts in the Common Area, please report them to the Management Office.

#### **3.6.3. Patio Maintenance and Improvements**

Good neighbors keep their patio enclosures in a healthy, neat, and attractive manner. The Owner is responsible for maintenance and improvements within the fenced or enclosed patio areas on the lot {CC&Rs 5.2(b)}, including the horizontal hard surfaces (e.g., poured concrete or brick/stone pavers), landscaping (e.g., trees, shrubs, surface mulching, and raised planter boxes, if present) and related surface drainage. The Association is responsible for maintenance, repair, and replacement of exterior wood siding and fences separating patios from common areas and neighboring yards {CC&Rs 5.1(a) and 5.2(c)}, except where the Owner's negligent maintenance or improper improvement actions may be determined to be the cause for any wood dry rot and/or termite damage, including water or landscape intrusion into an adjoining residential lot/structure {CC&Rs 5.3(a)}.

New patio hardscape, planter boxes and/or changes to drainage require review by the Architectural Review Committee and approval by the Board. See Rules for Home Improvement on the ARC Homepage (<https://nepenthehoa.com/architectural-committee/>).

## **Section 4. Owner and Resident Obligations**

### **4.1. Maintenance of Lots and Residences**

The shared maintenance agreement between the Association and the homeowners is comprehensive. To see what the CC&Rs specifically say, read Article V, Section 5.2(b). The list below is intended to be a handy reference. Please note that while it is the homeowner's obligation to maintain these items, there are architectural criteria for many of them that need to be adhered to. See Section 5 of this document to read what the Association maintains for each unit.

The Homeowner maintains:

|                                                    |                                                          |
|----------------------------------------------------|----------------------------------------------------------|
| Building or Framing Components                     | Brick Chimney, Fireplace, Chimney Cap and all components |
| Doors, Jambs and Hardware                          | Exterior Paint Touch Ups                                 |
| Patios                                             | Gate Hardware                                            |
| Windows, Sliders, Frames, Skylights, Screens, etc. | Mailbox or mail slot                                     |
| Patio Covers, Trellises                            | Plumbing servicing the Unit, including exterior spigots  |
| Homeowner Improvements                             | Electrical Lines & Fixtures specific to the residence    |
| Pest & Insect Related Problems                     | Cable TV, Telephone, Antennae, Dish Installations        |
| Gas Lines, Valves, Meters                          |                                                          |

### **4.2. Home Improvements – Architectural Review Process**

The following improvement does not require approval, but does have criteria governing their appearance:

- Window coverings

These items also have specific criteria, but can be approved by management:

- Front door per criteria
- Screen door or storm door for the front door from approved styles
- Garage person door per criteria
- Garage vehicle door per criteria
- Cable/satellite dish installations (See also Section 4.4.4 of this Document below)
- Mailbox from approved styles
- Mail Slot, if replacing or approved by Postmaster
- Chimney Cap

**These items also have specific criteria and must be reviewed by the Architectural Review Committee** who will make a recommendation to the Board of Directors for approval or denial. Please allow up to two months for the approval process. See *Rules for Home Improvement*.

- Air Conditioner, Furnace and Heat Pump Replacement (requires the supplementary questionnaire, available from staff or via website)
- Window or Patio Slider Replacement (requires the supplementary questionnaire, available from staff or via website)
- Windows – new construction
- Windows - Security including window bars

- Windows – Sunscreens
- Skylights or Solar Tubes
- Solar Roof Panels (Thermal or Electric)
- Gas Line and Meter
- Shade Structure – Trellis, Awnings, Sails, Etc.
- Trellis – Floral Support / Garden Feature
- Patio Hardscape / Planter Boxes
- Patio Pool / Spa and Equipment
- Attic Fans
- Vents – Installations and/or Relocations
- Security Camera and/or Lighting
- Handrail
- Fence Modification
- Shed
- Flag Installation
- Wiring and Pipe Installation

The criteria, titled *Rules for Home Improvement* can be obtained from the office staff or viewed online on [www.NepentheHOA.com](http://www.NepentheHOA.com). The Architectural Review Committee meets monthly to review the applications. {CC&R Article IV: Architectural Review and Approval}

#### **4.2.1. Estoppel (Sales or Refinance) Process**

Homeowners who are selling their homes (rules adopted January 4, 2023) must complete an Estoppel inspection process before the sale occurs. The process is optional for homeowners who are refinancing their homes. Estoppel inspections ensure that modifications to the home comply with ARC and HOA rules. {CC&Rs Section 4.15}. Estoppel findings become part of the sales disclosure requirement. Estoppel is initiated by homeowners or may be initiated by the HOA upon learning the home is in the process of sale. The ARC Committee conducts the inspection and will issue an Estoppel certificate either certifying all improvements meet HOA standards or reporting needed corrections. Applications and further information are available at the HOA office or <https://nepenthehoa.com/architectural-committee/> or <https://nepenthehoa.com/wp-content/uploads/2023/03/Request-for-Estoppel-Inspection.pdf>

#### **4.3. Insurance {CC&Rs Article X}**

Homeowners are responsible to insure the improvements and contents of their individual units. The Association insures the outside of your unit and also purchases a Flood Policy on your behalf. See Section 5 of this document for more specific information about the Association's insurance policies.

#### **4.4. Use Restrictions**

These use restrictions have developed over the years as a means of setting clear expectations to help all residents enjoy a pleasant lifestyle in Nepenthe. Some can be found in Article III: Restrictions & Use of Property in the CC&Rs and others have developed by way of Board adopted rules.

##### **4.4.1. Signs {CC&Rs Sec. 3.5}**

##### **(A) Legal Proceedings, Sale or Rent, or security service identification signs:**

Reasonably sized signs as required by legal proceedings or "For Sale", "For Rent" or a security service identification sign may be placed in a window.

##### **(B) Political Signs, United States Flags and Noncommercial Signs Display Rules**

The following Political Signs, United States Flags and Noncommercial Signs Display Rules refine the restrictions in the Association's CC&Rs, Section 3.5, Signs and Flags, on the posting and display of signs and flags on owners' Lots while complying with Civil Code Sections 4710 and 4705, and the Freedom to Display the American Flag Act of 2005.

#### (1) Political Signs

"Political Signs" are defined as signs, posters, flags and/or banners in support of a candidate running for political office (Association, local, state, or national), or in support of a position on a political issue including but not limited to those on an upcoming election ballot (Association, local, state, or national).

a. No Political Signs may be posted or displayed on the Common Area, which includes the front yard of an owner's Lot.

b. Political Signs must be made of paper, cardboard, cloth, plastic or fabric; and may not be made of lights, roofing, siding, paving materials, flora, balloon, or any other similar building, landscaping, or decorative component, or include the painting of architectural surfaces.

c. Political Signs may not be more than nine (9) square feet in size, except that Political Signs that are flags or banners may not be more than fifteen (15) square feet.

d. Political Signs may not contain obscenities or fighting words or other offensive language.

e. No more than a combination of three (3) Political Signs may be posted or displayed on an owner's Lot at the same time.

f. Political Signs may not be posted or displayed in a manner that interferes in any way with the Association's maintenance of the landscaping on an owner's Lot or any other maintenance obligations of the Association to be performed on an owner's Lot.

Political Signs may be posted in the windows of an owner's Lot, but not portions of an owner's Lot that are the maintenance responsibility of the Association (including but not limited to exterior siding, fencing, vehicle garage door exterior surfaces, garage side doors and roofs).

g. Political Signs in support of a candidate running for political office (Association, local, state, or national), or in support of a position on a political issue on an upcoming election ballot (Association, local, state, or national), may not be posted and displayed on an owner's Lot more than ninety (90) days before the date of the election.

h. Political Signs in support of a candidate running for political office (Association, local, state, or national), or in support of a position on a political issue on an upcoming election ballot (Association, local, state, or national), posted or displayed on an owner's Lot must be removed from the owner's Lot no later than fifteen (15) days after the election date.

#### (2) United States Flags

"United States Flag" for this subsection (B) is defined as the United States of America flag consisting of thirteen (13) equal horizontal stripes of red (top and bottom) alternating with white, and a blue rectangle in the upper hoist-side corner bearing fifty (50) small, white, five-pointed stars

arranged in nine (9) offset horizontal rows of six (6) stars (top and bottom) alternating with rows of five (5) stars.

- a. No United States Flag may be posted or displayed on the Common Area.
  - b. A United States Flag may only be constructed of the following materials: nylon, polyester, cotton, or similar materials. A United States Flag may not be made from lights, paint, roofing, siding, paving materials, flora, or balloons, or any other similar building, landscaping, or decorative component.
  - c. United States Flag dimensions are limited to a maximum of three (3) feet by five (5) feet and may not be more than fifteen (15) square feet in size.
  - d. Only one (1) United States Flag may be posted or displayed on an owner's Lot, including on the inside of a window on an owner's lot.
  - e. The maximum height of the top of any United States Flag or its flagpole when displayed is the lesser of twenty (20) feet or the roofline of the owner's Residence.
  - f. A United States Flag may only be posted or displayed on an owner's Lot between sunrise and sunset (to eliminate flapping noise that might disturb neighbors).
  - g. United States Flags must not be flown upside down on an owner's Lot.
  - h. United States Flags must be cleaned and mended as needed.
  - i. United States Flags may not be posted or displayed on an owner's Lot in such a manner as to permit them to be easily torn, soiled, or damaged in any way.
  - j. United States Flags may not be posted or displayed on an owner's Lot during inclement weather unless an all-weather American Flag is used.
  - k. United States Flags may only be flown at half-staff on an owner's Lot for Federal, State, or Association recognized memorials authorizing United States Flags to be flown at half-staff. These generally include by order of the (a) President upon the death of a principal figure of the United States Government, (b) the Governor of California upon the death of a past or present official of California, or (c) the Board of Directors upon the death of past or present member(s) of the Board.
  - l. When lowered, no part of the United States Flags should touch the ground or any other object, and the United States Flags should be folded into a triangular shape neatly for storage.
  - m. Flagpoles and flagstaves upon which United States Flags are flown on an owner's Lot must be structurally sound, and the locations of the flagpoles and flagstaves cannot interfere with the Association's ability to maintain components on an owner's Lot or to perform any other maintenance obligations of the Association on an owner's Lot.
- (mi) "Flag Poles" are poles that are mounted in the backyard of an owner's Lot from which a United States Flag may be raised and displayed.

(mii) “Flagstaffs” are a pole or dowel that sits in a bracket affixed to the exterior surface of an owner’s Residence from which a United States Flag is hanging, typically at close to a 45-degree angle. Owners at their own expense must remove Flagstaffs to accommodate maintenance work that may need to be performed by the Association on the exterior building surface of the owner’s Residence.

n. Owners seeking to install flagpoles or flagstaffs on an owner’s Lot for the posting and display of flags need to submit an architectural application to the Association’s Architectural Review Committee for approval specifying the size, color, location, and construction materials for the flagpoles or flagstaffs, and obtain such approval, prior to the installation of such flagpoles or flagstaffs in compliance with the procedures in the Association’s CC&Rs, Article IV, for approval of improvements.

(3) Other noncommercial signs:

a. “Noncommercial Signs” for this subsection (3) are defined as noncommercial signs, posters, flags, or banners other than political signs and United States flags addressed in subsection (1) and (2) above.

b. No Noncommercial Signs may be posted or displayed on the Common Area, which includes the front yard of an owner’s Residence.

c. Noncommercial Signs must be made of paper, cardboard, cloth, plastic, or fabric; and may not be made of lights, roofing, siding, paving materials, flora, balloon, or any other similar building, landscaping, or decorative component, or include the painting of architectural surfaces.

d. Noncommercial Signs may not be more than nine (9) square feet in size, except that Noncommercial Signs that are flags or banners may not be more than fifteen (15) square feet.

e. Noncommercial Signs may not contain obscenities or fighting words or other offensive language.

f. No more than a combination of three (3) Noncommercial Signs may be posted or displayed on an owner’s Lot at the same time.

g. Noncommercial Signs may not be posted or displayed in a manner that interferes in any way with the Association’s maintenance of the landscaping on an owner’s Lot or any other maintenance obligations of the Association to be performed on an owner’s Lot.

In particular, Noncommercial Signs, as stipulated above, may be posted in the windows of an owner’s Lot, but not portions of an owner’s Lot that are the maintenance responsibility of the Association (including but not limited to exterior siding, fencing, vehicle garage door exterior surfaces, garage side doors and roofs).

**4.4.2. Pets {CC&Rs Sec. 3.4}**

Dogs are not allowed in the Common Area except while on a leash which is held by a person capable of controlling it. Owners are responsible for the immediate cleanup of their pet’s waste. No pets may be kept within the Development that result in annoyance or nuisance to other owners.

#### **4.4.3. Trash {CC&Rs Sec. 3.6}**

Trash, recyclables, and green waste are to be kept only in covered City of Sacramento containers. Containers shall be stored in an out-of-sight location on the owner's lot.

Green waste (yard clippings) is to be put out in a trash bag or wrapped in a tarp, at the intersection of the alley and street no earlier than Sunday afternoon for Monday morning pickup by the Association's landscape contractor.

#### **4.4.4. Satellite Dish/ Antenna/ Cable Installation {CC&Rs Sec. 3.11}**

Prior to installation of a satellite dish or antenna, homeowners are required to submit an application to the Office for review and approval. Residents are encouraged to consult with and work with the Office to determine the best location. In the event the installation requested does not meet the current Rules under the CC&Rs, the application may be referred to the ARC for further review.

The review process will include referring to Section 207 of the Telecommunications Act of 1996. This section is referred to as the Over the Air Reception Devices (OTARD) rule. <https://www.fcc.gov/media/over-air-reception-devices-rule>

#### **4.4.5. Resident Sales**

Garage sales are not permitted, but one-day estate sales are. In the case of estate sales, all contents must remain in the confines of the garage, residence and patio. Doors are to remain closed during the estate sale. Signage for estate sales must be printed, not handwritten and must be removed at the end of the day.

Individuals must not directly solicit other residents regarding any business with which they are associated. There is a bulletin board in the Clubhouse to advertise business services.

#### **4.4.6. Window Coverings**

The portion of the window coverings facing the exterior must be white or cream or natural wood and must be kept in good condition. Makeshift coverings of any type are not permitted.

#### **4.4.7. Holiday Décor (Adopted by the Board of Directors September 25, 2012)**

Members may place seasonal holiday decorations (from the weekend before Thanksgiving until January 7) on the immediate front entrance, garage door surrounds, gutters, around alley areas, including shrubs, bushes, and trees immediately adjoining a Member's property to a maximum height of fifteen feet.

Decorations may not interfere with the health or safety of the public or create a risk of injury or damage to persons or property by encroaching upon alleys or walkways or present a trip hazard in areas normally traveled by pedestrians. Decorations may not obscure address plaques or Common Area lighting. No electrical seasonal decorations shall be placed on or in any Common Area or Common Facility light fixture.

Members are unrestricted in placing holiday decorations in the interior of their property visible to the exterior.

Decorations may not be placed upon roofs, and no person shall access the roof for installation.

Decorations may be installed on exterior walls and fences by plastic or metal clips so long as they do not cause damage to the Common Area or Common Facilities. Clips may be left in place for use seasonally. Any such clips that are not made of clear plastic will be painted the same color as the siding. The Association is not responsible for maintenance or removal of said clips, except that the Association may remove the clips to perform maintenance on any fence or building and will not be responsible for damage to or loss of clips, nor for replacing or reinstalling the clips.

Sound effects and flashing lights, twinkling lights and inflatable decorations in the Common Area are prohibited. Decorations or electrical connections which pose a safety hazard, or which expose the Association to increased insurance costs are prohibited. Electrical decorations shall be installed pursuant to manufacturer's recommendations.

Compliance is determined exclusively reserved by the Association. Association reserves the right to disconnect, relocate or remove Holiday Decorations not in compliance with this policy. Association will make reasonable efforts to notify a member and request compliance. Association will not be responsible for damage to any Holiday Decoration it disconnects, relocates, or removes.

#### **4.4.8 Homeowner Decoration of Unit Exteriors**

The owner of a unit may place objects of a decorative nature on the front door, on any fence gate, on walls or fences within enclosed patios and on patio covers or trellises as long as (a) objects visible from the common area are generally compatible with community standards and (b) any supplemental lighting does not interfere with neighbors' use and enjoyment of the common area and of their own properties.

Owners of such objects will be responsible for promptly removing them as necessary for maintenance of the unit. Owners will be responsible for the cost of repairing damage caused by the objects, and the Association will not be held responsible for loss or damage to such objects.

Exterior decorations for short-lived events such as parties are permitted so long as they are generally compatible with community standards and provided the owner removes them upon conclusion of the event.

#### **4.4.9. Nuisance {CC&Rs Sec. 3.12}**

Residents shall not allow any condition to exist upon their lot or within their household which will negatively impact their neighbors' quiet enjoyment of their property or impede the Association in discharging its maintenance obligations.

#### **4.5. Security Systems, Cameras, and Lighting {CC&Rs Sec. 3.10}**

Installing exterior security systems, cameras, and lighting is considered an architectural alteration to a home's exterior and therefore requires prior approval of the Architectural Review Committee and Board of directors.

Homeowners are required to complete a Home Improvement Application, available at the office.

#### **4.6. Guests**

Guests must adhere to all rules applicable to Owners and Residents plus the following rules that pertain specifically to them.

- Guests must be accompanied by a resident when using the amenities.

- Long-term guests, such as house sitters, may use the amenities independently if the resident provides a note to management in advance.
- No more than four (4) guests per household in any of the pool areas at once.

#### **4.7. Monthly Assessments**

As a courtesy, owners will receive a monthly statement towards the end of the month. Even if the statement is not received, it's important to know that Assessments are due the first of each month and are late after the 15th.

There are several ways to pay your assessments.

1. Set up Auto Bill Pay. This is an ACH agreement that permits Nepenthe's management company to pull the assessment from your checking account each month.
2. Make a payment online: <https://www.fsr-california.com/homeowners/login.aspx>
3. Mail a check to "Nepenthe Association c/o FirstService Residential, PO Box 30354, Tampa, FL, 33630-3354". Please make sure your Nepenthe address is written in the memo line of the check, or you can write your account number. If you don't know the account number, call the Nepenthe office at (916) 929-8380 or FirstService Residential at (800) 428-5588.

#### **What does the monthly assessment pay for? {CC&Rs Sec. 8.2}**

Each Nepenthe homeowner pays assessments for the maintenance of the common areas of the association and services, or costs associated with your home.

All homeowners pay for:

- Common area landscaping
- Security patrol
- Siding maintenance and repair
- Roof maintenance and repair
- Amenities – pools, tennis courts, and clubhouse
- Insurance

## **Section 5. Association Obligations**

### **5.1. Maintenance**

Your monthly assessment to the Association pays for much of the maintenance of your home's exterior surfaces. To see what the CC&Rs specifically say, read Article V, Section 5.1. The list below is intended to be a handy reference.

**When a resident allows a condition to exist which negatively affects the condition of one of the below components, the owner will be held financially responsible for the repair or restoration. {CC&Rs Sec. 5.3}**

See Section 4.1 of this document to read what the Homeowner maintains for each unit.

The Association maintains:

|                                             |                                           |
|---------------------------------------------|-------------------------------------------|
| Roof Shingles and Flashing                  | Exterior Siding and Trim                  |
| Patio Fences                                | Exterior Paint on Siding, Trim and Fences |
| Roof and gutter cleaning                    | Rain gutters and downspouts               |
| Cement Driveway                             | Mailbox posts                             |
| Landscaping around the unit, front and back | Cement walkways                           |

### **5.2. Insurance**

The complete insurance requirements can be found in the CC&Rs, Article X. The Association maintains policies that are compliant with the CC&Rs. A summary of the policies is mailed to all homeowners every fall as part of the annual budget disclosure packet.

Here is a quick reference list of the policies owned by the Association:

- Property Insurance/Major hazard
- General Liability Insurance
- Directors & Officers Liability
- Fidelity Bond, Policy Limits
- Commercial Auto Liability: Policy Limits
- Umbrella Liability, Policy Limits
- Workers Compensation, Policy Limits
- Flood Insurance for each unit
- Flood Insurance for each of the clubhouses similar to that above

### **5.3. Governance**

Nepenthe is governed by a homeowner volunteer Board of Directors composed of a President, Vice President, Treasurer, Secretary and Member at Large. The Board is assisted by the following committees: Architectural Review; Elections; Finance; Insurance, Legal & Safety; Grounds; Nominating and Outreach. The Board hires a management company to oversee the day-to-day operations of the Association.

## **Section 6. Rights & Remedies**

### ***6.1. How are these obligations enforced?***

In the matter of enforcement of the provisions of this and the other Governing Documents, the Association and individual Residents have rights and obligations that are prescribed in law and in equity and are encapsulated in our Governing Documents. The Board has the duty to enforce the provisions of our Governing Documents; Residents are obligated to adhere to their provisions. In its enforcement activities, the Board must adopt policies that provide for due process.

The Board has a range of enforcement tools designed to encourage compliance. Suspension of Association voting rights, exclusion from Common Area Facilities, legal remedies, and the imposition of monetary fines are some of the actions that the Board can take. Generally, no sanction will be imposed without the due process procedures of Section 16.6. of the CC&Rs. Notification of an infraction, referral to hearings, and alternate dispute resolution procedures may be employed, singly or in some combination, before a punitive action is taken by the Board. The Board has adopted a Fines Policy for use when the non-punitive measures mentioned above fail to elicit cooperation.

### ***6.2 Fine Schedule (Adopted by the Board of Directors September 2, 2020) {CC&Rs Section 16.6(b)}***

1. It is the goal of Nepenthe Association to make its Owners and residents aware of the Association's CC&Rs, Bylaws, Articles of Incorporation, rules and policies ("Governing Documents") that govern use of the property in Nepenthe and to provide for an orderly and fair manner for enforcement of the Governing Documents. The Governing Documents may be enforced in accordance with their provisions and the laws of the State of California. This Enforcement Policy and Schedule of Fines lists certain categories of violations of the Governing Documents, provides for the Board's response to such violations, and sets forth the Association's fine schedule.

Owners' guests, tenants, family members, and invitees are subject to the same obligations imposed on Owners to comply with the Governing Documents, and Owners are subject to disciplinary action when their guests, tenants, family members, and invitees fail to comply with the Governing Documents.

#### **2. Enforcement Policy**

A. It is the policy of the Association to receive notice of alleged violations from management, Board members, committee members, and Owners. Reports of violations must be in writing, including email.

Upon receipt of notice of an alleged violation, the Board and/or a committee will investigate the alleged violation within a reasonable time thereafter. If the Board and/or a committee determines that a violation has likely occurred, the Association will take the following actions before the Board imposes any disciplinary action for alleged violations, including monetary penalties (fines) or suspension of membership rights against any Owner for failure to comply with the Governing Documents.

(i) Mail a letter to the Owner setting forth the alleged violation and requesting corrective action to be taken within a reasonable period of time. This letter shall be referred to as a "courtesy notification letter" or "notice of violation."

(ii) If no corrective action has been taken within that period of time, the Board, in its discretion, may send another courtesy notification letter / notice of violation, a Notice of Board Hearing (to determine whether to impose discipline), a Request for Resolution (request that the Owner participates in mediation), or a

combined Notice of Board Hearing / Request for Resolution. The Board may send a Notice of Board Hearing, Request for Resolution, or a combined Notice of Board Hearing / Request for Resolution without first sending a courtesy notification letter / notice of violation.

(iii) The Notice of Board Hearing (or combined Notice of Board Hearing / Request for Resolution) will set forth the date, time, and place for the hearing, a brief description of the action or inaction constituting the alleged violation of the Governing Documents, a reference to the Governing Document provision alleged to have been violated, and a statement that the Owner has a right to attend and may address the Board or committee at the hearing. The Association must send the Notice of Board Hearing by U.S. Mail at least ten (10) days before the hearing.

(iv) If the Owner fails to appear at the hearing, the Board must nevertheless consider evidence presented to it in connection with its investigation, and it must determine whether or not a violation has occurred.

(v) Within fifteen (15) days after the hearing, the Association must send written notice to the Owner of its decision.

B. The following items are considered to be disciplinary actions requiring a hearing before imposition.

(i) Fines. (See the Fine Schedule below.)

(ii) Suspension of the rights to use recreational common facilities.

(iii) Special Individual Assessments for the costs and expenses, including reasonable attorney's fees, incurred by the Association in enforcing violations of the Governing Documents. {CC&Rs, Article VIII, Section 8.3 and 8.4 and Article XVI, Sections 16.6 and 16.9.}

(iv) Steps toward legal action.

C. The following items are not considered disciplinary actions and therefore do not require a prior hearing.

(i) Courtesy notification letters / notice of violation.

(ii) Institution of legal proceedings.

(iii) Emergency entry of a lot to remedy a health or safety hazard.

(iv) Initiation of alternative dispute resolution (request for resolution) proceedings.

(v) Towing vehicles improperly parked on the common areas at the Owner's expense.

D. Violations that require maintenance or repairs.

These are violations that may result in the Association performing maintenance or repairs. If such a violation occurs, the Association may send a notice of violation to the Owner requesting that the Owner correct the violation within a reasonable amount of time or immediately if the violation creates an imminent health or safety hazard. If the Owner fails to correct the violation in a timely manner, then the Association may do as follows.

(i) Perform the maintenance or repairs.

(ii) Charge the Owner for the maintenance or repair costs.

(iii) Deliver to the Owner a "Notice of Board Hearing" or a combined "Request for Resolution / Notice of Board Hearing."

(iv) After a Board hearing, impose fines and/or other discipline.

### 3. Schedule of Fines

A. To ensure compliance with the required Architectural Review and Approval procedures set forth in the Association's CC&Rs, Article IV, the Association's Architectural Review Committee Guidelines and

Home Improvement Application, and any other rules that may be adopted by the Association related thereto (collectively, “Architectural Rules”), the Board may impose the following fines, in addition to any other disciplinary actions.

(i) An Owner making an improvement to their lot without fully complying with the Architectural Rules and obtaining approval for the improvement from the Association’s Architectural Review Committee confirmed by the Association’s Board (CC&Rs, Section 4.1(a)) may be assessed a fine of up to \$500 per violation.

(ii) An Owner making an improvement to their lot without fully complying with the Architectural Rules and obtaining approval for the improvement from the Association’s Architectural Review Committee confirmed by the Association’s Board, and who fails to obtain subsequent approval of the improvement from the Association’s Architectural Review Committee confirmed by the Association’s Board, may be required to remove or modify the non-complying improvement, pay attorney’s fees and costs incurred by the Association to attempt to compel the Owner’s compliance, and may be assessed a fine of up to \$100/day until the non-complying improvement is removed or modified as required by the Board.

B. For violations other than of Architectural Rules set forth in Section 3(A) above, the Board may impose the following fines.

(i) For first violations: up to \$500.

(ii) For second violations (same offense or same nature): up to \$750.

(iii) For third or subsequent violations (same offense or same nature): up to \$1,000.

(iv) For Continuous Violations: A per day, week, or month amount set by the Board based on the merits of each violation.

The CC&Rs, Section 16.6(c), Definition of “Violation”, states this:

A violation of the Governing Documents shall be defined as a single act or omission occurring on a single day. If the detrimental effect of a violation continues for additional days, discipline imposed by the Board may include one component for the violation and, according to the Board's discretion, a per day, week, or month component for so long as the detrimental effect continues. Similar violations on different days shall justify cumulative imposition of disciplinary measures. The Association shall take reasonable and prompt action to repair or avoid the continuing damaging effects of a violation or nuisance occurring within the Common Area at the cost of the responsible Owner.

C. Failure to pay a fine may result in the matter being referred to a collection company and/or attorney. The Association may also pursue a lawsuit. If the Association obtains a court judgment against an Owner, the judgment accrues interest at the legal rate (currently 10% annually). Any judgment obtained against an Owner may be recorded at the County Recorder’s office. A recorded judgment creates a lien against the Owner’s lot which may result in a foreclosure action, or the lien may remain against the lot, accruing interest, until it is satisfied from the proceeds of a sale of the lot or refinancing of the loans secured by the lot.

### **6.3 Your Rights**

Anytime you have a concern or issue that needs to be resolved, your first point of contact should be with the General Manager. Call or email to arrange a meeting to discuss your concerns.

If you are still unsatisfied, you may reach out to the Board by writing a letter. The letter can be delivered to the Clubhouse office for inclusion in the next Board meeting packet. The directors will review the letter and determine whether any action is desired.

If this does not take care of the matter, you have the right to request ADR, which stands for Alternative Dispute Resolution. The Board will assign one or two Directors to meet with you and review your concerns.

## **2. Rules for Home Improvement - April 2025.pdf**



**Nepenthe Association**

# **Rules for Home Improvements**



Rules for Home Improvement      Approved by Board: **date approved**

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## Purpose

Certain alterations (termed an improvement or modification) to the exterior of a house or unit in the Nepenthe Association require the homeowner to submit an application to and receive approval from the Association. This process and the role of the Architectural Review Committee (ARC) are governed by Article IV (on architectural control) in the CC&Rs of Nepenthe Association, last revised and adopted in 2019.

Article IV, Section 4.6 of the CC&Rs calls for improvements that are in harmony with the external design of other structures and/or landscaping. Furthermore, it states that proposed improvements should be consistent with the architectural and aesthetic standards prevailing within the Nepenthe Community. While the CC&Rs directs the Architectural Review Committee to consider the quality of workmanship and materials proposed, it also mandates consideration of the harmony of the proposed improvements among the existing structures.

The ARC seeks to strike a balance between adhering to the original architectural design and maintaining a harmonious aesthetic and recognizing that since the 1970s when our homes were constructed, building materials have changed and new building products are now available. The ARC encourages homeowners to bring forward new, more efficient products such as energy efficient heating and cooling systems, double-glazed windows and doors, and different wood-like products for trellises. The ARC is committed to recommending such new products or methodologies to the Board of Directors for approval.

This document outlines the current standards for improvements within Nepenthe. This information will be available in the Nepenthe Office and online at [www.nepenthehoa.com](http://www.nepenthehoa.com).

The list of rules cannot include every possible project scenario, so please contact the Nepenthe Office for guidance if your project is not on the list. If you have any questions on the submission or approval process, please contact the Nepenthe Office and/or the ARC.

**Note: In addition to these Nepenthe rules, all homeowners must comply with applicable City and County requirements for building permits. A listing of required building permits can be found here: <https://www.cityofsacramento.gov/community-development/building/permit-services/required-permits>**

## The Process

If you wish to make any exterior changes to your unit that, in general, will be visible to the community, alter the siding on your home or create interior changes that alter the roof, you must receive approval from the Architectural Review Committee (ARC) and the Board of Directors. For a list of most of the improvements requiring an application, please check the Table of Contents page.

**The ARC will not review any Home Improvement Application until it receives a complete application with all required information and completed forms and questionnaires associated with the home improvement. Residents are encouraged to call the Nepenthe Office with questions and/or reach out to ARC for support.**

### Procedure:

***If you are going to follow the Rules' criteria exactly:***

1. Review the rules for the improvement you are requesting.
2. Complete the application form(s) and attach all required information. Please include a summary statement of the improvement you plan to make. Different types of improvements will each need their own application form.
3. Submit the application form and required documents to the Nepenthe Office.

***If you want to do something outside the current rules or if your improvement is not addressed in the rules:***

1. Review the rules for the improvement you are requesting, if applicable.
2. Consider meeting with a member of the ARC, if you would like assistance in understanding what factors the Committee will consider for non-standard changes.
3. Submit detailed information with the application form and include a statement of explanation of the proposal.
4. Attend an ARC meeting to present your plans.

### Approval:

1. For certain basic changes (such as replacing a garage door according to rules), the Nepenthe Office may be able to approve your application immediately, with no further approvals needed.
2. Otherwise, the ARC will review your project and make a recommendation to the Board of Directors.
3. Final approval is provided by the Board of Directors. *The Board of Directors has given the ARC emergency authority to allow certain improvements to begin following the ARC's approval and prior to the Board's later consent. The Nepenthe Office is aware of these exceptions.*
4. You may not begin work until you receive approval in writing from the Nepenthe Office. Documents will be mailed to you.

### Denial:

Should the ARC deny your application, you may request a direct review of your application by the Board of Directors. Contact the Nepenthe Office to request a Board review. If the homeowner disregards the

ARC Rules and completes an improvement without necessary Board approval, the Board may, among other disciplines, levy a Special Individual Assessment against the owner and require the work to be corrected.

**After Completion:**

After you have completed the approved work, you must notify the Nepenthe Office by completing and returning the Notice of Completion form. In certain cases, you must have a completion inspection. These cases are identified on the application form. Also, installation of windows, skylights, solar generating panels, or heating and cooling systems require evidence of a building permit from the City of Sacramento, such as a copy of the permit or a screenshot of the permit from the City's website being supplied to the Nepenthe Office.

**Time Frame:**

Article IV of the Nepenthe CC&Rs describes in detail the procedures and time frames for architectural improvements or modifications requested by the owner. In general, once a complete application has been submitted to the Nepenthe Office and evaluated as acceptable by Office Staff, the ARC will review it and make a recommendation of approval or denial that will be included on the next Board meeting agenda.

When an approval has been granted, the owner has one year in which to start the improvement or modification. The work should be completed within one year from when work commenced.

## Frequently Asked Questions

### How long does approval take?

Approval roughly takes four to five weeks, or possibly longer, depending on when the application is considered complete by the Nepenthe Office. So, please plan ahead. Why does it take so long? Once the ARC recommends approval, the application then goes to the Board for review at the next monthly board meeting.

### Do I have to attend the meeting of the Architectural Review Committee (ARC)?

In general, no, the resident does not need to attend an ARC meeting. If the application is routine and for an improvement listed in the *Rules*, and if the application is complete, one need not attend the ARC meeting. However, if the Committee has questions, they will reach out to you via phone and email; they may suggest you attend the meeting. Sometimes talking face to face is the easiest way to communicate about complicated matters.

### Can I see a sample of a completed application packet that was approved?

Yes. The Nepenthe Office has sample applications for certain improvements that you may look at.

### After reviewing the *Rules for Home Improvements*, if I still have questions about my project and what may be required, may I request to speak with a member of the ARC before submitting my application packet?

The ARC is always happy to speak with a homeowner and answer questions. Ask at the Nepenthe Office, and an ARC member will reach out to you.

### Where do I find the floor plan of my home?

You can obtain a copy on paper from the Nepenthe Office. Nepenthe's website has your home's floor plan built into it: if you go to [www.nepenthehoa.com](http://www.nepenthehoa.com) and click on "Interactive Community Map" (<https://nepenthehoa.com/interactive-community-map/>) and find your home and click on it, a window opens up with a download button that will deliver the original floor plan illustration from the developer as a PDF file.

### Can I start work after the ARC meeting?

No. In general, work should not start until the Board formally approves the ARC recommendation. The ARC itself does not have the final say. Once the ARC recommends approval for an application, it goes to the Board at its meeting on the first Wednesday of the following month. However, for certain emergency improvements, such as replacing broken HVAC systems, the Board has granted the ARC emergency power to fully approve your application, so that you can start work as soon as possible.

### I don't know anything about the technical specifications, such as the diameter of refrigerant line sets or low-voltage control wires. Instead, can I just have my contractor talk directly to a member of the ARC?

The ARC prefers that the homeowner communicate with the contractor to obtain answers to specification questions. Most contractors are willing to also provide diagrams and schematics which

minimize the number of open questions. Because ultimately the Home Improvement Application is a legal agreement between the homeowner(s) and the Association, it is best if the homeowner understands and makes the decisions about all the details that go into a project.

#### **How do I know if my improvement application was approved?**

There is no need to attend the Board meeting at which your application is on the agenda unless it is new, unusual, or controversial and if Board members are likely to want further information about it. The morning after the meeting, you can contact the Nepenthe Office to check. The Nepenthe Office will mail out a formal letter of approval, accompanied by the Notice of Completion (NOC) form, which should arrive in several days.

**What happens if I've completed a project without approval? See below.**

#### **The Process for an Unauthorized Improvement**

- 1) The Nepenthe Office will send you a notice of violation letter and will request from you an application and Notice of Completion for the unapproved modification.
- 2) The application and NOC shall then be submitted to the ARC for a recommendation on whether the modification would have been approved under the specific rules documented in the *Rules for Home Improvement*. If the modification would not have been approved, the ARC will provide an explanation of why approval would not have been granted.
- 3) The ARC's recommendation will be submitted back to the Nepenthe Office to be included in the next Board meeting packet for Board discussion and approval or denial.

# Home Improvement Rules

## Air Conditioner, Furnace, and Heat Pump

**Board Approval Required.** A Supplemental HVAC questionnaire must also be submitted, which may be obtained from the Nepenthe Office or [www.nepenthehoa.com](http://www.nepenthehoa.com).

These components of an HVAC system require ARC review and Board approval: Heat pump, furnace (gas or electric); air conditioner; ductless, mini-split in-wall air conditioning and/or heating system; as well as any other heating, ventilation, and air conditioning (HVAC) system components that perforate, alter or affect the exterior wall siding, roofing or fencing.

A new exterior air conditioner compressor unit or new exterior heat pump compressor unit shall be located outdoors in the same area as the existing compressor unit which it is replacing. All vertical runs of refrigerant piping shall be reused or replaced by new lines concealed underneath the siding. All vertical runs of new electrical wiring shall be concealed as described above. All exterior conduit, junction boxes and disconnects shall be painted to match siding. New furnace blowers, air handlers and evaporator coils shall be concealed within the residence in the same manner as the existing unit. "Through-the-roof vents and caps" shall be painted to match the roof or other vents.

Note: Subject to Committee and Board approval, the fence section adjacent to the new outdoor air conditioner compressor or new heat pump compressor unit can be moved outward to create a larger area to allow for adequate ventilation. If you are requesting such a fence modification or relocation, please submit the manufacturer's specifications along with a sketch showing the fence change. Cutting holes in or removing entire sections of the fence is not allowed; however, removal of alternate vertical slats for ventilation may be approved by the ARC.

There may be situations where the new exterior air conditioner compressor cannot be located in the same area as the original unit. The ARC requests that those applications include a detailed diagram with dimensions and measurements depicting the placement of the new unit, the pad and piping/electrical chase (cover), along with identification of the distance the unit will be from the siding, fencing and any walkways.

A copy of the City building permit (or screenshot of City's website), if required, shall be submitted upon completion of the work along with the Notice of Completion (NOC).

## Antenna; Satellite Dish

### Nepenthe Office Approval Only

Depending upon the location and their visibility, satellite dishes and antennas can impact the look and character of our neighborhood, ultimately impacting desirability and home values. One of the primary charges of the Architectural Review Committee (ARC) is to provide guidance to homeowners and to take appropriate steps to preserve and maximize our neighborhood and home values. The Board has approved this Rule to implement the specific terms of Section 3.11 of our CC&Rs.

### Approval

Prior to installation of a satellite dish or antenna, residents (owner of property) are required to submit an application to the Nepenthe Office for review and approval. Residents are encouraged to consult with and work with the Nepenthe Office to determine the best location. In the event the installation requested does not meet the current Rules under the CC&Rs, the application may be referred to the ARC for further review.

The review process will include referring to Section 207 of the Telecommunications Act of 1996. This section is referred to as the Over the Air Reception Devices (OTARD) rule.

<https://www.fcc.gov/media/over-air-reception-devices-rule>

The rule applies to the following types of antennas:

- (1) A "dish" antenna that is one meter (39.37 inches) or less in diameter and is designed to receive direct broadcast satellite service, including direct-to-home satellite service, or to receive or transmit fixed wireless signals via satellite, including a hub or relay antenna used to receive or transmit fixed wireless services that are not classified as telecommunications services.
- (2) An antenna that is one meter or less in diameter or diagonal measurement and is designed to receive video programming services via broadband radio service (wireless cable) or to receive or transmit fixed wireless signals other than via satellite, including a hub or relay antenna used to receive or transmit fixed wireless services that are not classified as telecommunications services.
- (3) An antenna that is designed to receive local television broadcast signals.

In addition, antennas covered by the rule may be mounted on "masts" to reach the height needed to receive or transmit an acceptable quality signal (e.g., maintain line-of-sight contact with the transmitter or view the satellite). Masts higher than 12 feet above the roofline may be subject to local permitting requirements for safety purposes.

### **Location**

The location of a satellite dish or antenna should be unobtrusive and not overhang a neighbor's property or the Common Areas. This requirement, however, is not intended to unreasonably delay installation, unreasonably increase the cost of installation, maintenance, or use, or prevent the reception of an acceptable quality signal. We are all neighbors here and must recognize that the actions we take regarding our own property may impact a neighbor and the enjoyment of their property. Homeowners are encouraged to speak to neighbors and Association Management about the appropriate location before installing a satellite dish or antenna.

### **Installation**

Residents should consult with a professional installer(s) or at minimum become knowledgeable regarding placement for best reception. Placing an antenna is a balance between reception, safety, aesthetics and keeping equipment off Common Areas.

The Association is aware that many installers (because of lack of time, lack of proper equipment, or employment Rules) will place antennas or satellite dishes in the most convenient location for the installation company and not take the time to consider what is best for the owner or the Association.

If owners have questions about the proper location of their satellite dishes, or antennas the Nepenthe Office should be contacted for guidance *before* installation.

Any permitted satellite dish or antenna must be installed within the boundaries of the owner's property and may not be installed on or extend into Common Areas or an adjacent property.

It is recommended that antennas or dishes be securely installed on the rear sides of residences or garages to minimize visual impact and mitigate overhanging Common Areas or a neighboring property. Dishes are not to be attached to roofs or chimneys.

All wiring and materials associated with the dish or antenna should be concealed if possible or otherwise be as unobtrusive as possible. All wiring and materials associated with the satellite dish or antenna shall be painted with the same exterior paint to match the buildings along which they run. Dishes, masts, and antennas need not be painted over.

All installations must be in accordance with all applicable building, fire, electrical and related codes. All installations shall be in accordance with the manufacturer's installation specifications. A satellite dish or antenna may be attached to a free-standing yard post but should only be as high as needed to get acceptable reception, preferably no higher than the height of the fence line.

#### **Maintenance and Removal**

Homeowners are wholly responsible for any maintenance associated with the antenna or satellite dish for the duration of its life and are responsible for its removal.

Upon removal, homeowners are responsible for restoring the location where the satellite dish or antenna was installed, appropriately filling and repainting any penetrations of siding or fascia boards, and for removing all wiring and materials associated with the dish or antenna.

### **Attic Ventilation and Exhaust Fans**

#### **Board Approval Required**

Wind-powered roof turbine ventilators and roof-mounted attic fans that perforate the roof are not allowed. Advanced Roof Design, who designed the Association's last roofing replacement, came up with a design for a gable-mounted (that is, mounted on the inside of the side wall under the roof) attic ventilation fan that will cool the attic. It is electrically powered and typically automatic and is mounted behind a rectangular, louvered gable vent installed in the wall. Ask the Nepenthe Office for more specific information. Another type of fan is the "whole house"-type fan mounted in a ceiling to exhaust interior air into the attic. Because it is not mounted in and does not affect exterior siding or the roof, Nepenthe does not regulate the whole house fan, and leaves installation up to the homeowner.

### **Awnings and Shade Sails**

#### **Board Approval Required**

The installation of exterior retractable patio awnings and structurally anchored shade sails are considered architectural alterations to a home's exterior and therefore require prior approval of the Board. Another shade structure approved has been a fabric canopy that slides on its support wires.

## **Applications**

Applications for retractable awnings and shade sails must include a full description of the proposed installation as well as samples of the selected awning or sail fabric.

### **Retractable Patio Awnings**

Retractable awnings allow residents to have shade and enjoy sun when they wish.

#### **General specifications**

- Awning style – Lateral arms open and close horizontally under the awning canopy.
- Retraction – manual or motorized.
- Widths – 8 feet to 20 feet.
- Projection – 7 feet to 11 feet 8 inches.
- Fabric Selections: Solid, lighter-colored earth tones which are complementary to the residence exterior paint.

#### **Installation**

Retractable awnings may be mounted on the siding in the area above patio windows and doors and below the horizontal flashing between panels on two-story residences. Awning installation must allow for future removal for maintenance (painting and replacement) of exterior siding. For motorized awnings the power cord may be securely mounted to the siding and painted to match the siding.

### **Shade Sails**

Shade Sails (aka Sun Sails) with the right design provide shade to patio areas. The sail is typically anchored to a residence, garage, or free-standing wooden posts no more than 8 1/2 feet in height which are embedded in concrete footings. Shade sails are considered temporary tension structures which may be taken down seasonally.

The perimeter of each sail is designed with a catenary curve inward towards the center of the sail to control the fabric tension. Shade sails have reinforced webbing around the edges and marine stainless-steel Delta or D-Rings at each corner. When properly anchored and tensioned, this curve or gore helps eliminate fabric wrinkles, sagging and flapping in the heaviest of winds.

#### **General specifications**

- Style – Triangle or rectangle
- Widths – Variable depending on location of installation
- Fabric Selections -- Solid-color, lighter-colored earth tones which complement the residence exterior paint.

#### **Installation**

Shade sails may be mounted on residences in the area above patio windows and doors and below the horizontal flashing between panels on two-story residences. Sail installation must allow for future removal for maintenance (painting and replacement) of exterior siding. Sails may not be anchored above horizontal flashing between panels on two story residences. Mounting anchors must be securely installed and sealed to prevent moisture intrusion through exterior paneling into structure framing.

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## Chimney Caps

### **Nepenthe Office Approval Only**

The original section of Nepenthe (in the northeast) has roofs with wooden chases, while the much larger, later section has masonry chimneys of brick. Chimneys with a wooden chase contain a round flue that requires a round cap. The round cap and the chase must be painted the color of the structure.

Masonry chimneys must have a cap that will conform to the exterior shape of the chimney, normally a square or rectangular cap. Caps should be made of a durable material and have a dark brown or black matte finish.

## Communication and Cable wiring

### **Nepenthe Office Approval Only**

Wiring for telephone, cable television service, fiber optic cable, and other electronic communication wires can be installed on top of the siding on the exterior.

Because of the variation in the house and patio layouts, location of the alarm box shall be Wireless of the home. Where possible, wires shall be placed next to trim boards or inserted into the grooves of the siding. Where concealment is not possible, all wiring and equipment must be located so as to have minimal visibility.

Such wiring cannot be run over or stretched on top of the shingles of the roof. All such installations shall be securely attached to the building without sags in the wires, or loosely hanging or extra lengths and shall be maintained for its duration of use. It is the homeowner's responsibility to see that these wiring installations are painted the exact color of the home's exterior.

If at some future time, should the installation and its wiring or conduit be removed, homeowners are responsible for restoring the exterior location where the improvement was installed, for appropriately filling and repainting any penetrations of siding or fascia boards, and for removing all wiring and materials associated with equipment.

## Exterior Security Lighting

### **Exterior Lighting on Garage Walls Inside Fence Line**

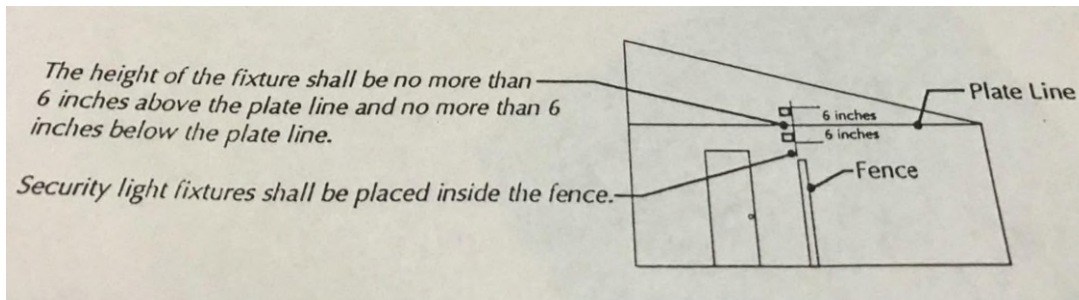
#### **Board Approval Required**

This type of fixture is designed to illuminate the walkways on both sides of a backyard gate.

The security light fixture must be bullet-style with one or two bulbs that are adjustable so that the light can be directed downwards, with a shield over the bulbs. A motion-sensor feature is not allowed; the lamp must stay on continuously when manually turned on.

The fixture must be bronze, dark brown or an unobtrusive color that is compatible with the color of the dwelling. The homeowner must specify the make and model of the fixture and submit a drawing, picture, or photocopy of its appearance. All wiring and/or conduit must be concealed within the structure.

The height of the fixture shall be no more than 6 inches above or 6 inches below the plate line (flashing line between vertical siding panels). The angle of the light shall be adjusted to avoid shining on to other properties, alleys, streets, or into the eyes of motorists or pedestrians.



### Exterior Lighting on Garage Walls Outside Fence Line

#### Nepenthe Office Approval Only

This type of fixture is useful for adding light to a driveway and alley area. The approved light fixture is WAC Lighting's WS-W20506-BZ Scoop LED Outdoor Wall Light Fixture, One Size, Bronze. A photo of the approved light fixture is shown below.



Light source/bulb must be fully shielded. The angle of light beam shall face downward perpendicular to the ground. Fixture lighting brightness shall be approximately 800 lumens (60w equivalent) when controlled by a manual ON and OFF switch; and approximately 450 lumens (40w equivalent) when automatically reactivated by a motion sensor; not to exceed six hours of total night operation. Lighting color shall be warm white (not to exceed 3000K = kelvins). Light fixture installation shall be hardwired with wiring and/or conduit concealed within the garage structure.

Fixture placement shall be centered above the garage's house number plaque, with the bottom of the fixture installed 66 inches above the bottom edge of the building siding. There should be at least 3 inches, but no more than 4 inches, between the top of the address number plaque and the bottom of the light fixture. (In some instances, this may require relocation of the house number plaque to accommodate the light fixture and meet this requirement.)



### **Exterior Lighting Mounted Below Fence Line**

#### **No Approval Required**

Backyard and patio light fixtures mounted below the fence line so that they are not visible from outside the patio area may be installed by homeowners without prior committee approval, provided the light does not have a negative impact on the common area or neighboring units.

### **Exterior Window - Sun Screens**

#### **Board Approval Required**

For shading windows by an exterior device, only sunscreens are permitted. No bamboo or any film or film-like material applied to the glass shall be allowed to shade windows on the outside of the home. No roll-up blinds are allowed. No awnings shall be allowed to shade windows on the outside of the home except above windows and sliding glass doors inside fenced patio areas. Refer to [Awning](#) and [Shades Sails](#) sections for specific rules.

The only exterior shade permitted is a sunscreen: a screen held by a frame and fastened over the existing window. The screen material is generally a fiberglass mesh in charcoal color only.

#### **Mounting Hardware**

The mounting hardware should be of metal, in a black walnut finish (or similarly dark brown or black color) or should be painted to match the frame and should be attached as flush as possible to the window surface.

#### **Placement**

All windows must be covered by a sunscreen on any exposure where a sunscreen is placed, except windows and sliding glass doors inside fenced patio areas.

## Advertising

No advertising markings of any kind are allowed on the sunscreens. The Association does not certify the effectiveness of the material; rather, the Association's only responsibility is to approve the outside visual acceptability of the material.

## Exterior Window - Security including window bars

### Board Approval Required

Requires specific justification which must include complete design information and application.

## Flag Installation

### Board Approval Required

Please refer to *Nepenthe Association Community Rules* (4.4.1. Signs {CC&Rs Sec. 3.5}) for the restrictions and the criteria to be met for flag installations. Appropriate information shall be included in the application packet submitted for review and recommendation by the ARC. This document can be found at <http://NepentheHOA.com>

## Floral Trellis

### No Approval Required

A floral trellis is a single-plane vertical structure, like a lattice, that supports a shrub. It may be visible above the fence line, and either freestanding or affixed to a wall. If the trellis is mounted on an exterior wall or on the dividing wall functioning as a fence, it shall be removable and not permanently attached to the siding to allow for siding removal and painting of the structure.

## Front Door

### Nepenthe Office Approval Only

The original section of Nepenthe (in the northeast, bounded by American River Drive, Commons Drive and Swarthmore Drive) has front doors in a six-panel colonial style; the other, much larger section has front doors in a flush (that is, plain) style.

Accordingly, the replacement front door must be the same style as the original door, six-panel colonial or flush, as appropriate, and must not contain windows. The Nepenthe Office can approve this application.

*Note:* For a home with a front door within a fenced patio area (such as Models 2200 and 2300), where the front door is largely obscured from view from the common area, front doors other than a solid type may be considered.

Only the approved colors may be used. There are a variety of color choices. Please check with the Nepenthe Office for a list of updated, approved colors.

## Front Screen Door

### **Nepenthe Office Approval Only**

For use with the front door, a variety of screen doors, storm doors and security doors have been approved in the past. Please see the list of approved doors in a separate flyer available at the Nepenthe Office. If you are requesting a design not available with the Nepenthe Office documentation, an application to the ARC will be required.

## Garage Door – Passage (“Man door”), New

### **Nepenthe Office Approval Only**

(This refers to creating a side door to the garage for humans where none existed originally.) The new door must be in the prevailing style: flush, having no windows. The door must open into the fenced backyard.

## Garage Door – Passage (“Man door”), Replacement

### **No Approval Required**

(This refers to the side door for humans.) The replacement door must be the same style as the original door: flush, having no windows.

## Garage Door - Vehicle Sectional Roll-Up

### **Nepenthe Office Approval Only**

The Nepenthe Office can approve this application. The style of garage door to be used is that constructed with four individual horizontal sections and shall have an exterior surface of hot-dipped galvanized steel with a wood-grained finish; and be of a flush style with no raised panels, no windows, and no grooves between sections. When the door is rolled down, the four sectional panels must all be in the same vertical plane.

The initial painting of the door is the homeowner’s responsibility. Contact the Nepenthe Office to obtain the name of your home’s exterior paint color. Subsequent re-painting will occur during the normal painting cycle. All other maintenance of the door shall be the owner’s responsibility. Panels and wooden trim must be kept in good condition, and the door kept closed except when automobiles are entering and exiting the garage.

## Gas Line and Gas Meter

### **Board Approval Required**

A homeowner may install gas service. The gas line pipe from the gas meter is to enter the residence at a height of no less than 12 inches or more than 18 inches above the level of the ground. Gas line piping for connection from the meter to appliances, HVAC systems, or fireplaces shall be installed within the walls and attic space of the residence and shall not be affixed to or installed on the exterior of the residence.

Gas line installations and flues for gas appliances must meet City codes as approved by City inspectors. Flues for gas appliances are preferred to be installed in roof areas originally designated for vents, usually “back” or alley half of the roof. If the current City code does not permit installation in such a location, flues will be allowed in other roof areas.

The meter and piping on the house’s exterior are to be painted the same exterior color as the house, and the flashing and flues on the roof to be painted the same dark color as existing roof vents. Nepenthe’s roof intrusion policy applies: Any roof penetrations after roof replacement may void Nepenthe’s roof warranty, and therefore any resulting water damage shall be the responsibility of the homeowner.

## Gutters and Downspouts

### Board Approval Required

Gutters and downspouts have been installed on homes either by the original builder or by the Association and should provide adequate drainage. The Association provides maintenance for gutters and downspouts with one exception.

If the gutters and downspouts have not been altered from the way they were installed by the original builder or the Association, the Association will maintain them, cleaning them out if they become clogged. If, within a fenced backyard patio, the bottom of the downspout has been connected to a buried drain pipe that transports the water underground out to the Common Area, then the homeowner becomes responsible for maintenance of that downspout and drain pipe.

If a homeowner should wish to replace the gutters, the new gutters must be of the same galvanized, rectangular type and color as currently installed on surrounding Nepenthe homes. Older installations have 5-1/2-inch-deep gutters, while newer Association installations in conjunction with re-roofing measure 7-1/2 inches deep. Rainwater discharge from downspouts shall not adversely affect any neighboring property or the Common Area.

No other style gutter or downspout is acceptable. Gutter guards and screens are not permitted. In 2014, the Board adopted a policy banning gutter guards because ultimately they create more problems than they solve.

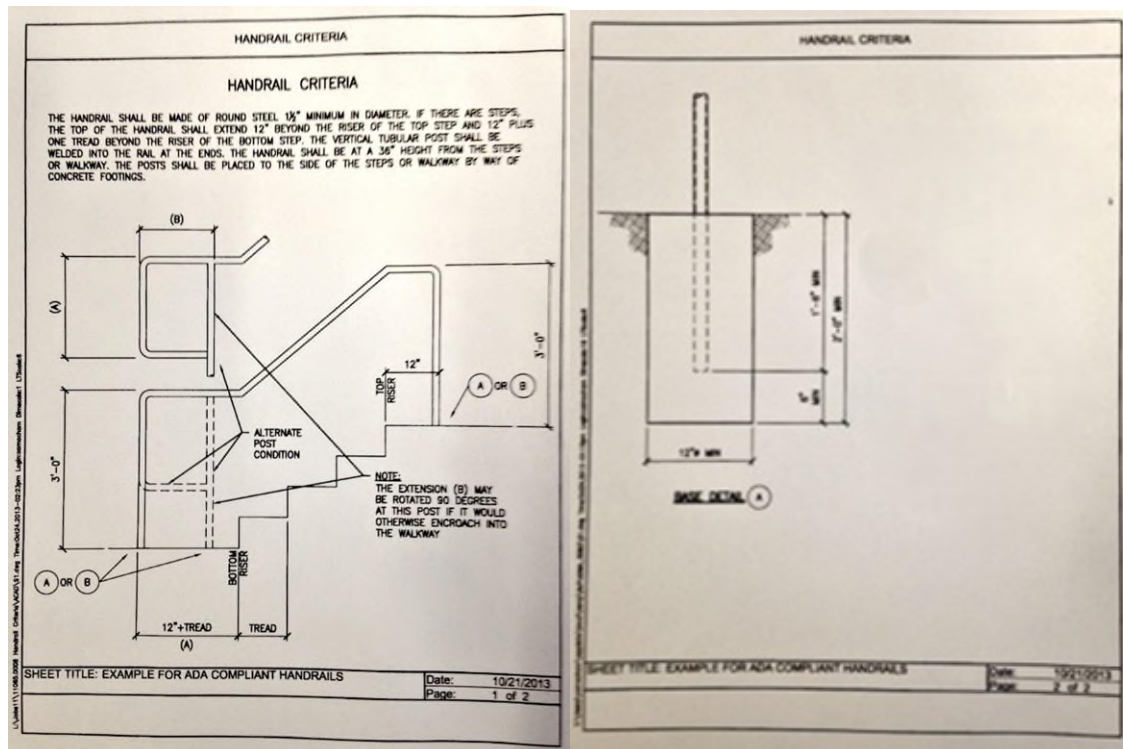
## Handrails

### Board Approval Required

Nepenthe’s handrail design has been created to be in keeping with A.D.A. requirements. The handrail shall be made of round steel 1-1/2 inches in diameter. If the walkway where the handrail is to be installed contains steps, the top of the handrail shall extend 12 inches beyond the riser of the top step and 12 inches plus one tread beyond the riser of the bottom step. (See diagram below.)

The vertical tubular post shall be welded into the rail at the ends. The handrail shall be at a 36” height from the steps or walkway. The posts shall be placed to the side of the steps or walkway by way of new

concrete footings and not affixed into the existing walkway concrete. The handrail shall be painted black.



## Mailbox

### Nepenthe Office Approval Only

A curbside mailbox, with or without a separately installed locking mechanism, must be compatible with other mailboxes in the community in size, color and installation. A list of approved curbside mailboxes is available from the Nepenthe Office.

## Mail Slot, Use and Replacement

### Board Approval Required

New mail slot installation requires HOA approval. Residents are to submit a Home Improvement Application for ARC review. The mail slot may be installed on either side of the garage door. The outside bottom of the slot must measure 39 inches from the bottom edge of the siding of that panel, and the slot should be centered between the vertical frames.

Exterior mail slot plates must be of metal with a black, dark bronze or dark walnut matte-like finish. The design must conform to those originally installed (see illustrations below) and shall be about 3 inches tall by 10-13 inches wide. If studs must be cut to install or widen the mail slot, the wall opening should be re framed to maintain structural integrity. No wood trim is to be altered or removed in order to accommodate the mail drop.

**Replacement of an existing exterior mail slot plate does not require approval if an approved product is used. All others require prior Association approval.**



*For Example:*

Baldwin Model # 0012 Letter Box 3" X 10" Plate  
Oil-Rubbed Bronze (#0012102) or  
Black (#0012102)

Deltana Bronze Mail Slot 13" w/ Interior Frame  
Oil-Rubbed Bronze – Model MS211U10B  
or Black – Model MS211U19

Schlage 2" x 11" opening, overall plate 3.5" x 13"  
Aged Bronze (brass highlights) Model 620-716

March 2024

## Microwave Ovens – New Circuitry Requirements

### No Approval Required

When a microwave oven is to be added in the kitchen in a permanent, hardwired installation, current building codes require a new, dedicated circuit just for this appliance. For most house models, it would be difficult to run new wiring from the circuit breaker panel into the kitchen because the rear wall space in between the studs is already occupied by patio sliding doors, windows, and existing circuitry. If this new wiring circuit for a microwave cannot be readily concealed within a wall, new wiring within a conduit is allowed to be installed on top of the siding on the rear wall. It should be placed so as to be as unobtrusive as possible but also so as to not impede removal of the siding. Where possible, conduit shall be placed next to trim boards or into the grooves of the siding. For a horizontal run of conduit, for instance, placing the conduit on top of the plat line divide between the first and second floors is often unobtrusive. Where concealment is not possible, all conduit, wiring and equipment must be located so as to have minimal visibility.

## Patio Hardscape, Planter Areas, and Rainwater Drainage

### Board Approval Required

Good neighbors keep their patio enclosures in a healthy, neat, and attractive manner. The homeowner is responsible for maintenance and improvements within the fenced or enclosed patio areas on the lot (CC&R 5.2(b)), including the horizontal hard surfaces (for example, poured concrete or brick/stone pavers), landscaping (for example, trees, shrubs, surface mulching, and raised planter boxes, if present) and related surface drainage. The Association is responsible for maintenance, repair and replacement of exterior wood siding and fences separating patios from common areas and neighboring yards (CC&R 5.1(a) and 5.2(c)), except in instances in which the homeowner's negligent maintenance or improper improvement actions may be determined to be the cause for any wood dry rot and/or termite damage, including water or landscape intrusion into an adjoining residential lot/structure (CC&R 5.3(a)).

The California Residential Code (Title 24 Part 2.5) specifies building standards within these areas that will help avoid insect and rot damage, as well as intrusion into neighboring properties. Nepenthe Rules follow:

### Patio Hard Surface

Surface grading (drainage slope) within 10 feet of a structure wall or adjoining residence party wall/fence shall fall at a minimum of two percent or about an inch for every 4 feet of patio hardscape (CRC R401.3 Drainage).

- Surface grading (drainage slope) within 10 feet of a structure wall or adjoining residence party wall/fence shall fall at a minimum of two percent or about an inch for every 4 feet of patio hardscape (CRC R401.3 Drainage).
- Exterior wood siding, sheathing, and wall framing shall have a minimum clearance of at least 2 inches measured vertically from the top of the final hardscape surface to the siding (CRC R317.1 Protection of Wood and Wood-Based Products from Decay).
- Any hardscape surface finish visible from neighboring properties or a common area shall be of an unobtrusive texture, pattern, and color compatible with the color of the dwelling and natural stone.

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### **Patio Planter Areas**

Residential lot drainage is a responsibility of the homeowner. Any change to original patio planter areas can impact established lot drainage patterns. A rain gutter and surface water drainage plan must be provided for any change to the size or shape of existing patio flower/landscape beds, proposed installation of curb edging to existing planter areas, or construction of raised planting beds. Where planter boxes are installed adjacent to exterior siding or wood fencing, a minimum horizontal air space of 18 inches shall be maintained between planter and the wall to provide access for ongoing debris removal and siding maintenance.

### **Patio Rainwater Drainage**

All Napa lots were originally graded to provide adequate positive rainwater drainage. Any redirecting of rainwater from a downspout located within an enclosed patio area can impact original approved drainage patterns. Any changes must address proper erosion control, including prevention of sedimentation or damage to property adjacent to the lot (as required by the Sacramento City Code). A plan must be provided before installing buried extensions to gutter downspouts. The buried downspout extension should slope about one inch for every 8 feet, provide clean-out access within the patio area, and the pipe discharge end should not extend into the Common Area. If, in order to achieve gravity drainage, the buried discharge end must extend into the Common Area, it will be necessary for the homeowner to explain why in the application. The discharge shall not be directed towards an adjacent property or walkways. The appearance of the discharge end shall be aesthetically non intrusive to the common area landscape.

### **Patio Landscaping: Trees, Shrubs, and Plants**

All exterior landscaping located within the fenced or enclosed patio areas on the lot are the responsibility of the homeowner, including planting, maintenance, repair, and removal. Landscaping shall not extend into an adjoining residential lot or over an adjoining structure. Fences must be kept free from vegetation (for example, ivy or other climbing plants) to prevent persistent wood moisture leading to cracking and rot.

### **Patio Soil & Mulching**

A layer of mulch buffers soil from the heat, keeps weeds out, and prevents soil compaction. However, mulch material also retains water and attracts bugs (e.g., termites). Direct or close contact between mulch and wood can result in significant damage. According to CRC R317.1 - Protection of Wood and Wood-Based Products from Decay, exterior wood siding, sheathing, and wall framing should have a minimum clearance of at least 6 inches measured vertically from the top of the soil and/or mulch.

Association siding and patio fence replacement due to wood dry rot and/or termite damage is a steadily increasing cost, leading to annual increases in Association monthly fees. The Association is responsible for maintaining the siding-to-soil clearance for walls and fences facing the Common Area. However, within the enclosed patio area this responsibility is assumed by the homeowner. All homeowners are asked to immediately eliminate any patio soil and/or mulch contact with structure siding or patio fence and move towards incremental and continuous compliance with the minimum soil/mulch clearance requirements for exterior wood siding, sheathing, and wall framing.

### **Patio Landscape Irrigation**

Irrigation systems for patio landscaping can provide effective water usage if properly installed and maintained. Sprinklers' spray must be directed away from structure siding and fences to prevent wood rot. Overwatering drowns plants while inviting bugs (e.g., termites). Broken irrigation lines and sprinkler heads can lead to adjoining-property and common-area damage, leading to homeowner responsibility for repairs.

## Patio Pool

### Board Approval Required

This refers to homeowners creating a hot tub, in-ground soaking tub, or swimming pool within their backyard. All pumps and other noise-producing equipment must be located inside the garage on the side opposite the closest neighboring house. The pool and equipment, along with electrical wiring and conduit, must not be visible from the street or common area. Pool equipment must be situated so that it does not prohibit the parking of two vehicles in the garage.

After construction of the pool or spa, all of the Common Area that was affected by this construction must be restored to its original condition, including plants and fences. Note that the contractor must keep the area neat and clean during construction. No soil or other debris can be washed down the storm drains.

A copy of the City building permit (or screenshot of City's website), shall be submitted upon completion of the work along with the Notice of Completion (NOC).

## Patio Structures or Improvements: Shed/Free-Standing Structure

### Board Approval Required

- For a pool in the backyard, see [Patio Pool](#)
- For antenna or satellite dish, see [Antenna](#) or Satellite Dish
- For awnings or shade sails or shade canopies, see [Awning](#) and Shade Sail
- For patio concrete and planter beds, see [Patio Hardscape](#)
- For a trellis or patio cover, see [Floral](#) and Overhead [Trellis](#)

### Fence Line Requirement

So as to limit unwanted visual impacts, no non-Architectural-Application-approved structures or appurtenances shall be visible above the backyard fence line. This includes ladders, woodpiles, tarps, etc. Exceptions are independently growing trees and shrubs that grow above the fence height, and patio umbrellas, and other permitted improvements mentioned below or elsewhere.

If a structure is erected within the fenced backyard area and can be seen over the fence, the Association will require that it be applied for and approved; certain other structures of lower height also require an application, namely, a backyard pool, or a shed or outbuilding.

### Spacing from fence

Note that no matter what type of backyard improvement or structure may be placed upon the ground permanently, it must be located at least 1 ½ feet (18 inches) away from the backyard fence and exterior siding, in order to allow access for fence repair, unless it can easily be moved out of the way.

### **Patio Structures**

This section deals with an installation that is permanent and can be seen above the fence line and is not addressed in a *Rules* section of its own: for example, garden decorative features or ornamental structures, rock walls, art installations and/or walls; free-standing shade structures; saunas or other building-like structures for containing people.

*Tents*, tent-like structures, and garden canopies supported by a three-dimensional framework are not permitted.

*Patio umbrellas* have no restrictions on height, size, or color. The only permitted free-standing shade structure is a patio umbrella secured in an appropriate-sized umbrella stand.

### **Shed – Board Approval Required**

The height of the shed is not to exceed the height of the backyard fence. The structure shall not be attached to any wall or fence and must be 18 inches away from a fence or exterior wall, in order to provide access for siding or fencing replacement/repair or painting.

### **Garden Decorative Structures – Board Approval Required**

Permanent garden decorative features, such as rock walls, fountains, art installations, art walls, or sculptures that are visible above the fence top will be considered on a case-by-case basis.

## **Overhead Trellis (Overhead Patio Cover)**

### **Board Approval Required**

All costs of acquisition, installation, maintenance, repair, or replacement of other building components related to an overhead trellis shall be borne by the owner when incurred. This includes removal and re-installation necessitated by Association maintenance such as repair of siding, fences, and painting.

### **Maintenance to an existing trellis**

Maintenance and repair to a trellis already in place is the homeowner's responsibility and does not require an application to the ARC nor Board approval unless the configuration or material for individual elements is revised substantially, such as hollow aluminum in lieu of wood members. Trellises may be painted either the exterior color of the house or the color of the fencing.

### **Installation of a new Overhead Trellis**

This type of trellis (or patio cover) is three-dimensional, constructed of beams, is attached to the house, and shades the patio. Nepenthe's original builder offered two designs of trellises, the large and the small, which are described as follows.

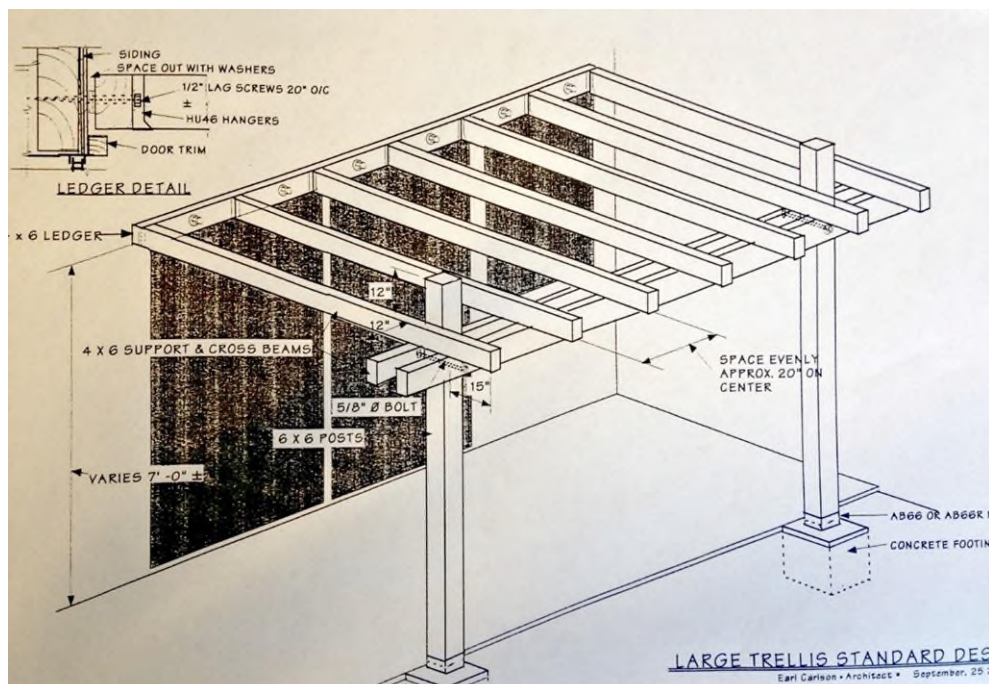
The trellis shall be constructed of wood (for aluminum, see [Aluminum Trellis](#) below) of smooth or rough grade. Redwood or cedar wood is recommended. The posts shall be 4 ft x 4 ft (or 6 inches x 6 inches) and approximately 8-1/2 feet in height after installation. The posts shall be set on a metal post base

which is embedded in a concrete pier. Pressure-treated wood is recommended. The wood of the post shall be set two inches or more above the dirt grade. There shall be a 2 inches x 6 inches ledger beam mounted to the siding 6 inches above the trim of the sliding glass door and sealed with caulk across the top (note detail in diagram). The trellis shall not be covered with any plastic sheet, bamboo, canvas, or any other material. However, 2 inches x 2 inches rails spaced every 3-1/2 inches may be placed perpendicularly to the cross beams.

If required, a building permit shall be secured. The homeowner shall contact the building department and include the response in the request.

#### **Large Trellis: (See Exhibit A)**

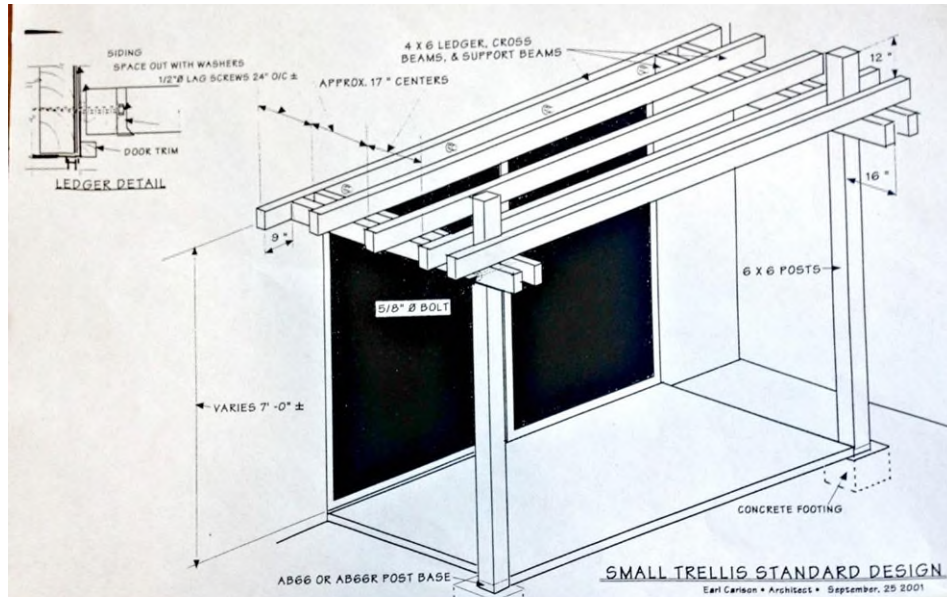
There shall be two support beams, 4 inches x 6 inches or one support beam, 4 inches x 8 inches. The support beam shall be parallel to the dwelling. The support beams shall be bolted to the outside of the posts with the bottom approximately 18 inches from the top of the post, allowing about 6 inches of post to be visible once cross beams are mounted on top. All cross beams, 4 inches x 6 inches, shall be affixed above the support beams and shall be perpendicular to the sliding door and attached to the ledger by metal brackets. Cross beams shall not be attached by an S wire and shall not be attached below the support beams. Cross beam ends shall extend approximately 15 inches beyond the support beam and be equidistant from each other with approximately 20-inch centers.



#### **Small Trellis: (See Exhibit B)**

There shall be four support beams, 4 inches x 6 inches. There shall be one support beam bolted to each side of each of the two posts. The support beams shall be perpendicular to the dwelling. These four support beams shall attach to the ledger above the sliding door by metal brackets. The bottom of the support beam shall be placed approximately 18 inches from the top of the post, allowing about 6 inches

of post to be visible once cross beams are placed on top. All cross beams, 4 inches x 6 inches, shall be placed above the support beams and shall be parallel to the dwelling. Cross beams shall not be attached by an S wire and shall not be attached below the support beams. Cross beam ends shall extend approximately 10 inches beyond the support beam.



**Exhibit B**

#### **Pre-Manufactured Aluminum Trellis:**

An aluminum trellis or patio cover will be considered by the Committee and the Board provided it conforms closely to the above specifications noted above for dimensions and configuration. The manufacturer's specifications and a color chart must be provided for committee consideration.

### **Security Camera**

#### **Board Approval Required**

Installing an exterior security system and cameras is considered an architectural alteration to a home's exterior and therefore requires prior approval of the Architectural Review Committee and Board of Directors.

#### **Applications**

Applications to install an exterior security system and cameras must include the following:

- a plot plan showing the locations of cameras in relation to the residence, neighboring structures and common areas;
- specifications on the size, camera shape and camera angles;
- a diagram showing the field of view for each of the cameras;
- pictures of the exterior locations where cameras will be mounted.

The Architectural Review Committee may require a revised application if there are any changes made to the initial application. Such changes include, but are not limited to, altering the location, equipment, or field of view of the camera(s).

### Camera Types

There are a variety of cameras available. Typical types are Doorbell, Spotlight, Floodlight, Dome, Turret and Bullet cameras. For night viewing, only infrared (IR) motion-detecting cameras or ones with brief bright illumination are permissible. A camera with a dark-colored housing is preferred over one with a white housing.



Spotlight Camera

Doorbell Camera

The camera type utilized will be dependent on the location of the installation. Residents are encouraged to utilize a licensed security system vendor to assist in selecting the proper camera for the proposed location.

### Placement of Camera(s)

Home security cameras need to be mounted in the least intrusive or visible locations, and the height of cameras shall be no more than 6 inches above or 6 inches below the plate line (flashing line between vertical siding panels) and no higher than 102 inches above ground level at highest point. Cameras may never be specifically directed at neighboring properties or Common Areas, with the exception that these areas may be captured when the camera is motion activated.

### Security System Signage

Security system signs affixed to fences, gates, residences, and mailbox posts are not permitted. Small decals or signs indicating that the home is protected by an alarm system, size not to exceed 3 inches x 8 inches, may be placed on a lower corner of the first-floor windows or another location approved by the Association. One alarm company sign mounted on a stake be placed in the ground with a stake near the rear entrance of the home.

## Security Systems, and Alarm Bell Boxes, Exterior Mounted

### Board Approval Required for Hard-Wired Systems ONLY

Typically, new security systems now no longer use an external alarm bell box. If needed, alarm boxes shall be installed on exterior siding in an unobtrusive location within the homeowner's fenced patio area. *Exceptions to this rule will be allowed only in cases where it can be demonstrated that placement of the box in the general location stated above will significantly impede operation of the alarm system.*

Because of the variation in the house and patio layouts, location of the alarm box shall be considered on a case-by-case basis by the ARC.

Alarm boxes shall be painted the same color as the exterior of the house or garage on which they are placed, at the homeowner's expense. *Exceptions to this rule will be considered only in cases where the alarm box cannot be seen from the common area or from a neighbor's window or patio.*

Wireless and wired-on-the-interior-only alarm systems need no application unless adding video surveillance and cameras. \*See Security [Camera](#).

## Skylight

(Also see Solar [Tube](#))

### Board Approval Required

Skylights, opening or non-opening, are permitted. Exterior frames shall be dark brown or a similar dark color. Only flat, rectangular skylights are permitted. The highest point of the skylight from the roof surface shall be no greater than 12 inches. The skylights should be positioned so that installation can avoid cutting the top chords of roof trusses.

Glass panes shall be of safety glazing and translucent or tinted gray or bronze. No other color nor reflective glazing will be allowed.

Any roof penetrations after roof replacement may void Nepenthe's roof warranty, and therefore any resulting water damage shall be the responsibility of the homeowner.

A copy of the City building permit (or screenshot of City's website), shall be submitted upon completion of the work along with the Notice of Completion (NOC).

## Solar Energy Roof Panels

### Board Approval Required

Please meet with the ARC before developing plans or submitting an application for approval.

Thermal solar systems and Photovoltaic (PV) panels must be installed by a registered contractor as determined by the California Solar Energy Industries Association and the California Energy Commission.

Thermal Solar Systems, as for heating water for a pool, must be of dull black, non-reflective material, including all piping, brackets, fittings, clamps, etc. The piping into the roof shall be immediately adjacent

to the manifold. The owner is to maintain the installation in a uniform black appearance. Specific justification for an area greater than 120 square feet shall be provided. A photo or drawing showing the roof panel size and proposed location must be submitted.

Photovoltaic (electricity-generating) systems must meet these requirements:

- The peripheral equipment, including any conduit, inverter, etc., associated with the installation of roof solar panels shall be located in an area that will minimize the visual and esthetic impact on the community. The first locations to be considered shall be the interior walls of the garage or exterior walls inside the patio fence line.
- Supports for the solar panels shall not impose a dead weight concentrated load exceeding 150 lbs. anywhere on the supporting roof.
- Continuous supports for the solar panels shall not impose a dead load exceeding 75 lbs. per ft. on the supporting roof.
- Continuous supports for the solar panels that are installed perpendicular to the roof slope shall have a drainage gap at 10 ft. maximum.
- A building permit shall be secured prior to submission of the application to the Association. The homeowner or the solar system contractor shall submit a permit application to the City Building Department and include evidence of the approved permit in the application.

#### **Homeowner's Responsibilities for Rooftop Solar Systems**

The homeowner shall be aware that penetrations of the roofing for the new solar panel installation or reinstallation compromises the warranty for the roofing and that the homeowner will be responsible for the cost of any damage to the building's structure and interior due to water leakage caused by said penetrations.

The homeowner will be responsible for additional costs related to the removal and replacement of the solar panel system that will be required for future roofing replacements or repairs.

The homeowner will be responsible for additional costs related to the removal of rooftop debris, whether during regular rooftop cleaning by the Association or for special cleaning required to clear debris that has collected under or around panels.

An additional legal agreement form is required for Solar Energy Roof Panels applications and is available from the management staff or [www.nepenthehoa.com](http://www.nepenthehoa.com).

#### **Solar Tube**

(Also see [Skylight](#))

#### **Board Approval Required**

Solar tubes must be no larger in size than 14 inches in diameter and may not contain an exhaust fan. The versions containing a lamp or light for lighting the room below at night are permitted.

The brand Solatube has been previously approved by the ARC, along with others.

Any roof penetrations after roof replacement may void Nepenthe's new roof warranty, and therefore any resulting water damage shall be the responsibility of the homeowner.

## Windows – Replacement

**Board Approval Required. A supplemental windows questionnaire must also be submitted, which may be obtained from the Nepenthe Office or [www.nepenthehoa.com](http://www.nepenthehoa.com).**

Nepenthe's CC&Rs require exterior improvements to be consistent with the original architecture and harmonious with the aesthetic design standards. To increase the likelihood of approval by the ARC and the Board, Nepenthe recommends the owners discuss window options with a member of the Architectural Review Committee prior to submitting an application.

There exist two architecturally different sections of Nepenthe: the older is in the northeast and is bounded by American River Drive, Commons Drive, and Swarthmore Drive; outside of this area is the slightly newer, much larger section of Nepenthe.

As with other building design elements, windows design differs between the two architecturally different sections of Nepenthe. Excluding patio sliding doors, the original section of Nepenthe (in the northeast section) has some sliding windows that are asymmetrically divided vertically into 1/3 - 2/3 or 1/4 - 3/4, while others are 1/2 – 1/2; the much larger section of Nepenthe uses only 1/2 -1/2 divisions vertically for most windows.

A copy of the City building permit (or screenshot of City's website), shall be submitted upon completion of the work along with the Notice of Completion (NOC).

### Frame

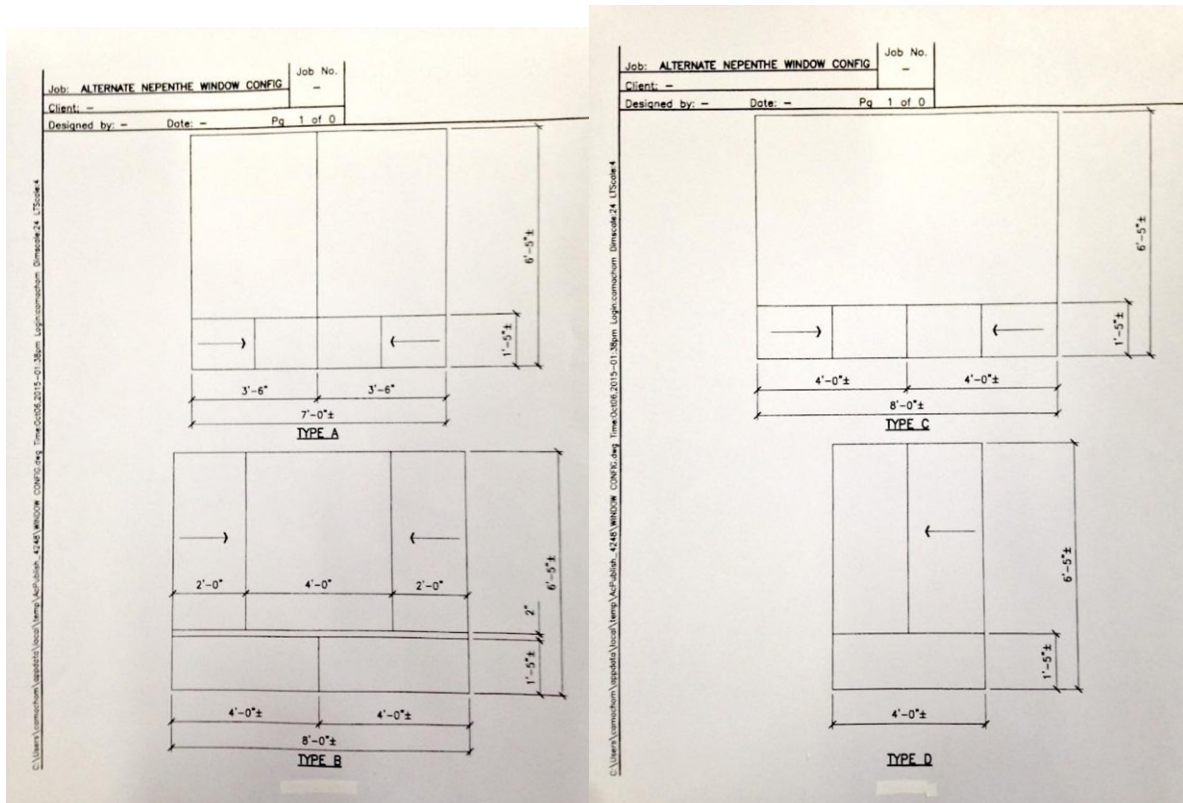
The replacement window frames' outside appearance must be similar to that of the original Blomberg metal windows frame in frame size/thickness (including horizontal rail and vertical stile components), block (non-decorative) frame shape, and minimal frame exposure appearance. That is, the exposed, visible portion of the replacement window frame must be of essentially the same dimension ("width") as the original sliding door or window's dimension, including the kitchen greenhouse windows. The window frame's exterior color shall be a very dark brown close to the original color of the original Blomberg windows' frame color: Blomberg's shade is called "Dark Walnut" while other manufacturers call it "Bronze" or "Dark Bronze."

### Configuration

All sliding window frames on any one elevation of a house must be of the same style and appearance, as of a single manufacturer's product. Vertical frame divisions are recommended to be replaced in the same configuration as that of the original windows (including the asymmetrical 1/3 – 2/3 configurations). If homeowners wish to change the vertical frame divisions from the existing configuration, they may choose one of the following [see Diagram 1]:

- 1) For windows with an overall width of 7 ft. (84 inches) and greater, the vertical frame divisions may be configured at quarter/half/quarter, to ease opening.
- 2) For windows with an overall width of up to 6 ft. (72 inches), the vertical frame divisions are to be configured at half/half.

- 3) In two-story homes where the first- and second-story windows are centered one above the other, the replacement windows above and below must be identical in style and configuration.
- 4) Window styles not allowed are the double-hung, casement or awning hinged, or jalousie window.



**Diagram 1**

### Trim

The wooden trim pieces surrounding the windows likewise differ between the two architecturally different sections of Nepenthe. The original section of Nepenthe (in the northeast) features the narrowest wooden trim pieces to the left and right (running typically between 3 1/4 inches to 3 15/16 inches wide); a wider piece at the top (3 7/8 inches to 4 inches wide); and the widest piece at the bottom (5 1/4 inches to 5 7/8 inches wide). The much larger, later Nepenthe section uses only 1 1/4 inches-wide trim pieces on all four sides of a window. After the windows are installed, the wooden trim must be replaced with either the original trim or new trim pieces of the original dimensions and in the original location.

### Glass – Clear or low-E

The replacement windows shall have glass that is colorless or “clear,” or with a low-energy coating. Other than the low-E glass itself, no frosted privacy coating, film, decorative pattern, reflective material, or tinting may be applied to any window surface.

### Retrofit Versus New-Construction Windows

Retrofit windows are designed for installation into the existing outer aluminum frames already attached to the studs within the walls. The contractor does not have to remove any home exterior materials, like siding, and replacement windows are measured to tightly fit into the existing outer frame. Not allowed are Flush Fin (aka Z-bar) retrofit window frames nailed onto the face of house siding.

Replacement patio sliders and “new construction”-type windows (if preferred) will require the complete removal of the existing frame nailed to the home structure. For patio slider replacement, the procedure is as follows:

- Replace any newly exposed dry-rotted structural framing (for example, the slider bottom wood plate)
- Attach wood trim pieces identical in size, material, and paint color to the original.
- For new-construction replacement windows, the procedure is as follows:
  - Remove exterior materials and nail new window frame fins to exposed studs;
  - Replace any newly exposed, dry-rotted structural material (for example, sill wood plate, trim);
  - Install new window flashing and replacing any damaged weather barrier material;
  - Install siding and trim that is identical in size, material, and paint color to the original.

### **Kitchen or Garden Window**

For the replacement of an existing greenhouse window with another, the replacement’s style and design shall be similar to the Blomberg Series HP 680 Greenhouse Window, which was originally installed in some houses, and comply with frame and glass rules above. As an option, a kitchen greenhouse window may be replaced with a sliding window of the same opening height and width that matches the product line of adjacent windows.

### **Patio Door Configuration Options**

This refers to creating a doorway onto the patio or converting an original patio sliding door into a swing or hinged door. For the replacement of a patio sliding door, the requirements are the same as windows description above, except wider frames similar to the original Blomberg sliding doors are necessarily used. Difficult-to-slide patio doors may be replaced with doors and/or windows. Swing opening, hinged doors are permitted so long as a modern appearance is maintained consistent with original architectural design standards. Referred to as French doors, they consist of a glass pane throughout their length. Divided window panes are acceptable only where not visible from adjacent residential properties or commons areas. Replacement screens should be similar to the originals. Detailed construction elevation drawing must be submitted with the application.

## **Windows - New Window (where none existed before)**

### **Board Approval Required**

Where a window is to be created where none existed before, the proposed window must not significantly alter the original architectural design appearance of the house as viewed from the street or other common area, from a neighboring residential unit, or above the enclosed patio fence line. It must not intrude on the outlook or privacy of other residential units. It must be rectangular, compatible with the exterior design of the unit, and match the existing windows in shape, detail, color and trim. The frame and glass must comply with the rules stated above in this section. A detailed plan and elevation showing location and window dimensions must be submitted.

A copy of the City building permit (or screenshot of City's website), shall be submitted upon completion of the work along with the Notice of Completion (NOC).

## Wiring & Pipe Installations – Exterior or Exposed

### Board Approval Required

For heating & cooling systems (HVAC), refer to Air [Conditioner](#), Furnace and Heat Pump

For solar energy roof panels, refer to Solar [Energy](#) Roof Panels

For gas line installation or extension, refer to [Gas](#) Line & Meter

For satellite dish installation, refer to [Antenna](#) & Satellite Dish

For cable TV installation, refer to [Cable](#)

For video security systems, refer to Security [Camera](#)

For security systems without video, refer to [Security](#) Systems and Alarm Boxes

If your proposed improvement was not included above, the rules below apply.

### Utility, electrical, or plumbing installation

No new pipes or piping for plumbing is allowed to be installed on the surface of the siding so that these pipes would be exposed on the exterior walls. New electrical wiring, via wires alone or wires contained in conduit, is not typically allowed to be installed on the surface of the siding.

## Accessory Dwelling Units (ADUs) and Junior Accessory Dwelling Units (JADUs)

### Board Approval Required

Accessory Dwelling Units (ADUs) and Junior Accessory Dwelling Units (JADUs) are permitted in the Nepenthe Association pursuant to applicable statutes and municipal codes. Before converting any existing residence and/or garage and starting any construction, the Owner is required to submit a Home Improvement Application to the Association for review by the Architectural Review Committee (ARC) and for approval by the Nepenthe Board of Directors. Unless specified in this policy, any capitalized terms used in this policy shall have the same meaning as defined in the Association's CC&Rs. The Owners must carefully plan the construction of an ADU and JADU and understand the requirements that are associated with such construction. The Association's approval of an ADU or JADU is conditional on the Owner continuously maintaining the statutorily required uses associated with their ADU or JADU.

### Documents required to accompany the Home Improvement Application

The ARC will not review a Home Improvement Application until it receives a complete application package with all required information listed in this policy.

In addition to submitting a complete Home Improvement Application with all required plans, specifications, and drawings, an Owner desiring to install an ADU or a JADU must include the following: (1) the appropriate Nepenthe model number floor plan with proposals marked on the plan, (2) a written description of the proposal, (3) an architectural modification plan and elevations, (4) an analysis and/or report from a licensed structural engineer that confirms the ADU or JADU will not negatively impact the adjacent building and structure, (5) an analysis and/or report from a licensed civil engineer or other

qualified professional that the ADU or JADU will not negatively impact the Association's and adjacent lots' sewers, drain and water lines, (6) appropriate approvals from the city or county of construction plans prior to the initiation of construction, and (7) signed permits from any required city or county agency with jurisdiction over the project.

After construction of an ADU or JADU is completed, the Owner must inform the Association in writing, at which time the Association will have a home inspector inspect the new ADU or JADU, at the Owner's expense, and compare it to the plans as submitted. The Owner will then give a home inspection fee deposit of \$500.00 to the Association, with any remainder fee owing due once the ARC signs off on the Notice of Completion. The Association shall complete its home inspection within 90 days following notice. If the Association fails to complete its home inspection within the 90 days required, the Association's right to conduct a home inspection shall be deemed as waived by the Association.

The Association's approval of an ADU or JADU will require the requesting Owner to enter into a use agreement that is recorded against their Unit that details the permitted uses, which include, without limitation, the below required terms and conditions:

**a) Owner Occupancy**

An ADU or JADU is only permitted for an Owner-occupied Lot. If the Owner rents or otherwise leases their Residence and no longer resides in the Residence as their primary residence, the Association's approval of the ADU or JADU is rescinded.

**b) Selling the Residence and Lot with an ADU or JADU**

If the Owner of a Lot with a rented-out ADU or JADU wishes to sell that Lot, the Lot can be sold only to a buyer who intends to occupy the primary residence if that buyer intends to continue renting out the ADU or JADU. An ADU or JADU cannot be sold separately from the primary residence.

**c) Setbacks**

Construction of an ADU must comply with applicable building codes and setback limitations. The Association reserves the right to require the Owner to provide, at the Owner's expense, a survey of the Owner's plat to mark the boundaries of the Lot if a new ADU construction is planned within six (6) feet of the boundary line.

**d) Fences and Party Walls**

Existing fences and party walls must remain as originally constructed.

**e) Detached Accessory Dwelling Units (ADUs)**

Exterior appearance: Nepenthe's architecture style is termed the Third (or Second) Bay Tradition. Among its characteristics are simple, geometric volumes and an absence of ornament. Any new detached ADU construction is required to utilize similar architecture that will harmonize and remain aesthetically consistent with its primary residence in terms of color, materials, and style. Without limiting the foregoing, any new detached ADU construction is limited to a single story in height not to exceed 16 feet, utilize the same T-111-style siding (or whatever siding material the Association may be currently using) as on existing exteriors, the same peaked or shed roof with same type of shingles, and maintain the same look as the original Blomberg windows (two-sash sliders with narrow "Dark Walnut"

(a dark bronze or brown-black) visible frame widths (as is described elsewhere in the *Rules for Home Improvement*) as the primary residence. The color of the paint applied to new siding will remain the same as on the primary residence. All electrical, gas, plumbing or other infrastructure elements must be installed within the walls and are not permitted to run or otherwise be located on the exterior of the siding of the ADU. The gutter and downspout servicing a new roof must be of the same design as the existing ones. New construction will be in keeping with existing rules for aspects that are governed by the *Rules for Home Improvement*.

Responsibility for maintenance of siding and roof, and cleaning of roof and gutters: The Association will maintain the siding and roof of the detached ADU; however, the Board shall impose any costs associated with such maintenance to the Association as a Special Individual Assessment to the Owner of the Lot.

**f) Residence Conversion - modifying an existing house to contain an ADU or JADU**

To maintain the cohesion of the appearance of Third Bay Tradition architecture style community, installation of a new window, sliding patio door, or entry/access door to the ADU or JADU, will be allowed only on an exterior wall within the fenced-in side yard or backyard of the Lot. The Association will not allow any other modifications of the exteriors of a Residence in connection with the construction of an ADU or JADU.

**g) Garage Conversion - converting a garage into an ADU or JADU**

Garages are not to be torn down or removed.

*Appearance:* To maintain the residence's appearance of having an operating garage on its alley or street, Nepenthe requires that the original garage door must remain in the framed garage door opening and a partition wall must be constructed behind the garage door. The ARC may require the partition wall to include siding that matches the siding on the garage exterior. No windows are allowed in the garage door. No windows are allowed elsewhere in the partition wall constructed behind the garage door.

Windows and doors (man-doors) are allowed only on the two sides of the garage that face into the fenced backyard area. The garage structure is to remain at its original height.

In order to ensure the Association can continue to fulfill its exterior maintenance obligations, which includes, without limitation, the painting of the garage door exterior, the partition wall that is constructed must allow for the garage door to open and close.

*Exterior appearance:* Any garage conversion construction is required to utilize architecture that will harmonize and remain aesthetically consistent with its primary residence in terms of color, materials, and style. Without limiting the foregoing, all the applicable conditions stated above shall apply, including, without limitation, the requirement for T-111 or similar approved siding on the exterior, the need for the same paint color, the requirements for any peaked or shed roof to have the same type of shingles as the primary residence, and the same look of windows as described in the *Rules for Home Improvement*.

The Association shall continue to be responsible to maintain the exterior of the garage and other requirements as outlined in the CC&Rs. The Board shall impose any added costs associated with such maintenance as a Special Individual Assessment to the Owner of the Lot.

### **3. Home Improvement Application - April 2025.pdf**



## HOME IMPROVEMENT APPLICATION

|          |              |
|----------|--------------|
| Date:    | Phone:       |
| Name:    | Email:       |
| Address: | House Model: |

**One improvement per application, please.**

| These items can be approved in Management Office: |                                                   |
|---------------------------------------------------|---------------------------------------------------|
| <input type="checkbox"/>                          | Front door, per criteria                          |
| <input type="checkbox"/>                          | Screen door, from approved styles                 |
| <input type="checkbox"/>                          | Garage exterior man door, per criteria            |
| <input type="checkbox"/>                          | Garage vehicle door, per criteria                 |
| <input type="checkbox"/>                          | Antenna/Cable/Satellite Dish installations        |
| <input type="checkbox"/>                          | Mailbox, from approved styles                     |
| <input type="checkbox"/>                          | Mail Slot, if replacing or approved by Postmaster |
| <input type="checkbox"/>                          | Chimney Cap                                       |
| <input type="checkbox"/>                          | Ring or Other Video Doorbell                      |

| These items require ARC Review & Board Approval: |                                                                                                                         |
|--------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/>                         | Air Conditioner / Furnace/ Heat Pump Replacement* (see <i>Rules for Home Improvement</i> for complete list)*            |
| <input type="checkbox"/>                         | ___ Check if emergency approval is needed                                                                               |
| <input type="checkbox"/>                         | Window or Patio Slider Replacement*                                                                                     |
| <input type="checkbox"/>                         | Window – New construction*                                                                                              |
| <input type="checkbox"/>                         | Window – Sunscreens                                                                                                     |
| <input type="checkbox"/>                         | Skylights or Solar Tubes                                                                                                |
| <input type="checkbox"/>                         | Solar Roof Panels (Thermal or Electric)*                                                                                |
| <input type="checkbox"/>                         | Gas Line and Meter                                                                                                      |
| <input type="checkbox"/>                         | Shade Structure – Awnings, Sails, etc.                                                                                  |
| <input type="checkbox"/>                         | Trellis (Patio Cover), Garden Feature                                                                                   |
| <input type="checkbox"/>                         | Patio Hardscape / Planter Boxes                                                                                         |
| <input type="checkbox"/>                         | Patio Pool / Spa and Equipment                                                                                          |
| <input type="checkbox"/>                         | American Flags/Flagpoles (specifying size, color, location, and construction materials for the flagpoles or flagstaffs) |
| <input type="checkbox"/>                         | Attic Exhaust Fans                                                                                                      |
| <input type="checkbox"/>                         | Roof Vents – Installations and/or Relocations                                                                           |
| <input type="checkbox"/>                         | Security Camera and/or Lighting                                                                                         |
| <input type="checkbox"/>                         | Handrail                                                                                                                |
| <input type="checkbox"/>                         | Shed                                                                                                                    |

**\*An Additional form is required. Request Forms from the Nepenthe Office.**

**\*\*Installation of windows, skylights, solar panels, heating or cooling system, gas lines and meters, and patio pools, require copy of the City building permit (or screenshot of City's website). \*\***



**Call the Office if you have an improvement you want to make that is not on this list. A member of the Architectural Review Committee will be assigned to work with you on your request.**

**You Must attach the following items to your application:**

1. Floor Plan and House Model (available at clubhouse or [www.NepentheHOA.com](http://www.NepentheHOA.com)) of your model showing the location of the proposed improvement.
2. Brochure and/or Specifications for proposed item and a summary statement and explanation. Inclusion of a detailed diagram/schematic is highly recommended.
3. Your contractor's proposal (prices may be blacked out).

**The Nepenthe Office will review the application for completeness, sign and submit it to the Architectural Review Committee within two days of submission.**

**Except for emergency heating and air conditioning, applications not submitted seven days before the scheduled monthly ARC meeting may not be approved until the following ARC monthly meeting.**

**Please sign below.**

I have read the above **Rules for Home Improvements** and agree to provide them to the installation contractor and ensure that all criteria are met. I understand that the approval timeline can take up to 90 days.

\_\_\_\_\_  
Print name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Resident's Signature

Acceptance acknowledged:

\_\_\_\_\_  
Nepenthe Office  
General Manager

\_\_\_\_\_  
Date

**Upon review, the Architectural Review Committee recommends:**

|                                   |                                                   |                                 |
|-----------------------------------|---------------------------------------------------|---------------------------------|
| <input type="checkbox"/> Approval | <input type="checkbox"/> Approval with Conditions | <input type="checkbox"/> Denied |
|-----------------------------------|---------------------------------------------------|---------------------------------|

Chair: \_\_\_\_\_ Date: \_\_\_\_\_

The Board of Directors will review for final approval at their next open session on \_\_\_\_\_.

Home Improvement Application: **date approved**

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## **4. Notice of Completion - April 2025.pdf**



## HOME IMPROVEMENT NOTICE OF COMPLETION

**Homeowner: Submit this completed form to the Nepenthe Office within 2 weeks of completing the changes you have requested. Your application is not final until the Office receives this form and the work has been approved.**

|         |  |
|---------|--|
| Name    |  |
| Address |  |
| Phone   |  |
| Email   |  |

Date Architectural Application was submitted: \_\_\_\_\_

The work for this property that had previously been submitted to the Architectural Committee (ARC) and approved by the Board was completed on: \_\_\_\_\_

We followed the work plan submitted and any restrictions or changes indicated by the ARC or Board of Directors of Nepenthe Association.

### **COLOR PICTURES OF THE COMPLETED IMPROVEMENT ARE REQUIRED WITH NOTICE OF COMPLETION**

**\*\*If you are unable to provide color photos, please contact the Office for assistance.\*\***

Additionally, if your installation was windows, skylights, solar generating panels or heating or cooling system, please provide evidence of your City building permit, such as a copy of the permit or a screenshot of the City's website.

Please describe below the work that was completed:

|  |
|--|
|  |
|--|

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_

### **The Architectural Review Committee:**

|                  |                |                     |
|------------------|----------------|---------------------|
| Reviewed Work on | _____ Approval | _____ Disapproval * |
|------------------|----------------|---------------------|

\*Reason for Disapproval:

|  |
|--|
|  |
|--|

ARC Chair/member Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Rev: **date approved**

## **5. HVAC Application Questionnaire - April 2025.pdf**



## HVAC Replacement Questionnaire

**IMPORTANT NOTICE:** Per the HOA “Rules for Home Improvements”, any new outdoor compressor unit shall be located in the same location as the existing compressor unit which it is replacing. **If the compressor unit needs to be relocated, please explain in answer to question #2 AND include a diagram showing placement with dimensions and measurements.** All refrigerant piping, wiring and electrical conduit shall be reused or replaced by new lines concealed under the exterior siding. No refrigerant piping, wiring or electrical conduit shall be attached to exterior siding. For further information please see the HOA “Rules for Home Improvements”, which can be found here:  
<https://nepenthehoa.com/architectural-committee/>

**Please answer the following questions. Check mark (X) response and describe as necessary:**

1. Is this an Emergency Replacement, (current unit not operable)? ☐ yes ☐ no
  
2. Will outdoor compressor replacement be located in the same location as the old unit?  
☐ yes ☐ no If no, please describe; attach diagram showing placement with dimensions/measurements.
  
3. Are existing refrigerant lines to be reused or replaced? (☐ reused / ☐ replaced.) If replaced, please describe:
  
4. Does any additional wiring and/or conduit need to be added?  
☐ yes ☐ no If yes, please describe.
  
5. Does a fence need to be modified to allow adequate circulation of air around the unit?  
☐ yes ☐ no If yes, please describe
  
6. Provide dimensions of the new outdoor compressor.

Width\_\_\_\_\_Depth\_\_\_\_\_Height\_\_\_\_\_



Nepenthe Association, 1131 Commons Drive, Sacramento, CA 95825  
916.929.8380 / [nepenthe.hoa@fsresidential.com](mailto:nepenthe.hoa@fsresidential.com)

## HVAC Replacement Questionnaire

**I understand that even though my contractor has signed this form, I am solely responsible for ensuring that these improvements meet the Nepenthe Architectural Criteria.**

**HOMEOWNER** \_\_\_\_\_ Date \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

Email Address \_\_\_\_\_

Signature \_\_\_\_\_

**CONTRACTOR'S NAME** \_\_\_\_\_ License# \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

## **6. Satellite-Antenna-Cable Installation Letter - A.pdf**



**NEPENTHE ASSOCIATION**

1131 Commons Drive, Sacramento, CA 95825

916.929.8380

[nepenthe.hoa@fsresidential.com](mailto:nepenthe.hoa@fsresidential.com)

**DATE**

**RE: SATELLITE DISH / CABLE INSTALLATION**

Congratulations on your new TV/media communication devices! There are a few things that should be brought to your attention before sitting down to enjoy the latest shows or your favorite sports.

The CC&Rs Section 3.11 requires that you seek approval of the installation of cable TV or satellite dishes from the Association's Management Office. **This letter serves as your authorization to schedule the installation.**

**INSTALLATION CRITERIA (this is a portion from the approved *Rules for Home Improvements*)**

***The Association requests that residents consult with the installer(s) to determine the best location on the owner's property that will conform to these rules per the application submitted.***

***The Association is aware that many installers (because of lack of time, lack of proper equipment, or employment guidelines) will place antennas or satellite dishes in the most convenient location for the installation company and not take the time to consider what is best for the owner or the Association.***

***If owners have questions about the proper location of their satellite dishes, the Nepenthe Office should be contacted for guidance before the dish is installed.***

**Antenna; Satellite Dish**

**Nepenthe Office Approval Only**

Depending upon the location and their visibility, satellite dishes and antennas can impact the look and character of our neighborhood, ultimately impacting desirability and home values. One of the primary charges of the Architectural Review Committee (ARC) is to provide guidance to homeowners and to take appropriate steps to preserve and maximize our neighborhood and home values. The Board has approved this Rule to implement the specific terms of Section 3.11 of our CC&Rs.

**Approval**

Prior to installation of a satellite dish or antenna, residents (owner of property) are required to submit an application to the Nepenthe Office for review and approval. Residents are encouraged to consult with and work with the Nepenthe Office to determine the best location. In the event the installation requested does not meet the current Rules under the CC&Rs, the application may be referred to the ARC for further review.



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The review process will include referring to Section 207 of the Telecommunications Act of 1996. This section is referred to as the Over the Air Reception Devices (OTARD) rule.

<https://www.fcc.gov/media/over-air-reception-devices-rule>

The rule applies to the following types of antennas:

- (1) A "dish" antenna that is one meter (39.37 inches) or less in diameter and is designed to receive direct broadcast satellite service, including direct-to-home satellite service, or to receive or transmit fixed wireless signals via satellite, including a hub or relay antenna used to receive or transmit fixed wireless services that are not classified as telecommunications services.
- (2) An antenna that is one meter or less in diameter or diagonal measurement and is designed to receive video programming services via broadband radio service (wireless cable) or to receive or transmit fixed wireless signals other than via satellite, including a hub or relay antenna used to receive or transmit fixed wireless services that are not classified as telecommunications services.
- (3) An antenna that is designed to receive local television broadcast signals.

In addition, antennas covered by the rule may be mounted on "masts" to reach the height needed to receive or transmit an acceptable quality signal (e.g., maintain line-of-sight contact with the transmitter or view the satellite). Masts higher than 12 feet above the roofline may be subject to local permitting requirements for safety purposes.

### Location

The location of a satellite dish or antenna should be unobtrusive and not overhang a neighbor's property or the Common Areas. This requirement, however, is not intended to unreasonably delay installation, unreasonably increase the cost of installation, maintenance, or use, or prevent the reception of an acceptable quality signal. We are all neighbors here and must recognize that the actions we take regarding our own property may impact a neighbor and the enjoyment of their property. Homeowners are encouraged to speak to neighbors and Association Management about the appropriate location before installing a satellite dish or antenna.

### Installation

Residents should consult with a professional installer(s) or at minimum become knowledgeable regarding placement for best reception. Placing an antenna is a balance between reception, safety, aesthetics and keeping equipment off Common Areas.

The Association is aware that many installers (because of lack of time, lack of proper equipment, or employment Rules) will place antennas or satellite dishes in the most convenient location for the installation company and not take the time to consider what is best for the owner or the Association.



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If owners have questions about the proper location of their satellite dishes, or antennas the Nepenthe Office should be contacted for guidance *before* installation.

Any permitted satellite dish or antenna must be installed within the boundaries of the owner's property and may not be installed on or extend into Common Areas or an adjacent property.

It is recommended that antennas or dishes be securely installed on the rear sides of residences or garages to minimize visual impact and mitigate overhanging Common Areas or a neighboring property. Dishes are not to be attached to roofs or chimneys.

All wiring and materials associated with the dish or antenna should be concealed if possible or otherwise be as unobtrusive as possible. All wiring and materials associated with the satellite dish or antenna shall be painted with the same exterior paint to match the buildings along which they run. Dishes, masts, and antennas need not be painted over.

All installations must be in accordance with all applicable building, fire, electrical and related codes. All installations shall be in accordance with the manufacturer's installation specifications. A satellite dish or antenna may be attached to a free-standing yard post but should only be as high as needed to get acceptable reception, preferably no higher than the height of the fence line.

**Maintenance and Removal**

Homeowners are wholly responsible for any maintenance associated with the antenna or satellite dish for the duration of its life and are responsible for its removal.

Upon removal, homeowners are responsible for restoring the location where the satellite dish or antenna was installed, appropriately filling and repainting any penetrations of siding or fascia boards, and for removing all wiring and materials associated with the dish or antenna.

**IT IS THE HOMEOWNER'S RESPONSIBILITY TO ENSURE THAT THE INSTALLATION IS COMPLETED IN COMPLIANCE WITH THE ABOVE CRITERIA.**

Sincerely,

Nepenthe Office

## **7. Window-Slider Replacement Supplemental Question.pdf**

## Nepenthe Window or Patio Slider Replacement Supplemental Questionnaire

This questionnaire will help you understand the Architectural Criteria, ask questions of your contractor, and provide information needed for timely Review Committee endorsement and final Board approval.

|                 |  |          |  |
|-----------------|--|----------|--|
| Homeowner Name: |  | Address: |  |
|-----------------|--|----------|--|

**PLEASE NOTE:** Per Nepenthe **Rules for Home Improvements**, any new window or patio slider must have an outside appearance that is similar to the original 1970's Blomberg frame in having minimal exterior frame exposure, block frame trim shape and non-decorative style – and match existing fixed configurations for fixed glass panels or sliding/gliding fractional or half-side vents. Exterior window and slider frame color shall be a dark bronze or dark walnut shade. Glass shall be clear, low-E allowed.

- ▶ No double-hung, casement/awning hinged, or jalousie windows
- ▶ No window design grid (muntin/grill) patterns
- ▶ No decorative bullnose, craftsman, brickmold or similar decorative frame trims
- ▶ No colored glass tinting, coating or film application
- ▶ No reflective/mirrored glass appearance
- ▶ No frosted privacy or decorative pattern appearance

**Ask your contractor to assist you in providing answers in each of the gray boxes:**

### CONTRACTOR INFORMATION

|                                                                                            |  |                                            |  |
|--------------------------------------------------------------------------------------------|--|--------------------------------------------|--|
| Business name?                                                                             |  | Phone #?                                   |  |
| Contact name?                                                                              |  | Email address?                             |  |
| Is contractor licensed and insured?                                                        |  | Is window installer & contractor the same? |  |
| Has contractor explained and complied with 2016 CA Title 24 Energy Code requirements?      |  |                                            |  |
| Has contractor explained & complied with safety/tempered glass Building Code requirements? |  |                                            |  |
| Has contractor previously installed replacement windows in Nepenthe (attach addresses)?    |  |                                            |  |

### SCOPE OF PROPOSED HOME IMPROVEMENT PROJECT

|                                                                                                                                                                            |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| Are all windows/sliders to be replaced?                                                                                                                                    |  |
| <i>If no, must attach list of new windows/sliders and indicate on floor plan those to be replaced</i>                                                                      |  |
| Will window fractional/half side vents (moveable section) configuration remain as original?                                                                                |  |
| <i>If no, must attach simple drawing of each reconfigured window, showing moveable (marked X) and fixed (marked O) sections (per Nepenthe Rules for Home Improvements)</i> |  |
| Will patio slider replacement be the same configuration?                                                                                                                   |  |
| <i>If no, or if replacing with hinged door or window, must attach elevation drawing</i>                                                                                    |  |

### PROPOSED REPLACEMENT PRODUCTS

|                                                               |  |          |  |
|---------------------------------------------------------------|--|----------|--|
| Sliding/fixed window manufacturer?                            |  | & style? |  |
| Frame material?                                               |  | & color? |  |
| Greenhouse window manufacturer?                               |  | & style? |  |
| Frame material?                                               |  | & color? |  |
| Patio sliding door manufacturer?                              |  | & style? |  |
| Frame material?                                               |  | & color? |  |
| <b>Must attach brochure/photo sample of proposed products</b> |  |          |  |

## Nepenthe Window or Patio Slider Replacement Supplemental Questionnaire (Page 2)

### CONTRACTOR INSTALLATION METHOD FOR REPLACEMENT

(Retrofit and/or new construction)

**PLEASE NOTE:** Retrofit windows are designed for installation into the existing outer aluminum frames within the walls. The contractor does not have to remove any home exterior materials, and replacement windows are measured to fit into the existing outer frame. Replacement patio sliders and new construction windows require removal of the existing outer frame nailed to the home structure.

- ▶ Not allowed are flush fin (aka Z-bar) retrofit window frames nailed onto face of house siding.

For patio slider replacement, the contractor/homeowner is responsible for:

- ▶ Replacing any newly exposed dry rotted structural framing (e.g., slider bottom wood plate)
- ▶ Reattaching wood trim pieces identical in size, material, and paint color as the original.

For new construction replacement windows, the contractor/homeowner is responsible for:

- ▶ Removing exterior materials and nailing new window frame fins to exposed studs
- ▶ Replacing any newly exposed dry-rotted structural material (e.g., sill wood plate, trim)
- ▶ Installing new window flashing and replacing any damaged weather barrier material
- ▶ Reinstalling siding and trim that is identical in size, material, and paint color as the original

### CONTRACTOR METHOD OF INSTALLATION AND SEALING

|                                                                                           |  |
|-------------------------------------------------------------------------------------------|--|
| for sliding/fixed windows?                                                                |  |
| for greenhouse window?                                                                    |  |
| for patio sliding doors?                                                                  |  |
| for retrofit windows, has contractor explained sealing between window and existing frame? |  |

### MAINTAINING NEPENTHE MINIMAL EXTERIOR FRAME EXPOSURE

|                                                                                                                                                                          |  |              |  |               |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------|--|---------------|--|
| What will be the window frame exposure (frame width between exterior wood trim & glass/glazing) for:                                                                     |  |              |  |               |  |
| Frame top?                                                                                                                                                               |  | Frame sides? |  | Frame bottom? |  |
| For stacked windows where a major horizontal piece is required to combine two windows, what will be the window frame exposure between the upper and lower glass/glazing? |  |              |  |               |  |

- ▶ Select a contractor who is committed and will take the time to comply with Nepenthe Rules.

### HAVE YOU ATTACHED THE FOLLOWING?

yes/no

|                                                                                                                                                                                                                                                                                   |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1. Contractor's address list of prior Nepenthe homeowner window installations.                                                                                                                                                                                                    |  |
| 2. If a partial windows/sliders replacement, include floor plan indicating those to be replaced.                                                                                                                                                                                  |  |
| 3. If proposing reconfigured window vents, include simple drawing indicating moveable and fixed window sections, as well as fractional size (e.g., $\frac{1}{2} \times \frac{1}{2}$ or $\frac{1}{4} \times \frac{1}{2} \times \frac{1}{4}$ or $\frac{1}{3} \times \frac{2}{3}$ ). |  |
| 4. If glass slider replacement with hinged door or window, include exterior wall elevation drawing.                                                                                                                                                                               |  |
| 5. Include manufacturer brochure or sample photos of proposed replacement products.                                                                                                                                                                                               |  |

*If you need Architectural Review Committee guidance prior to submitting your Home Improvement Application and supplemental questionnaire, please contact the Nepenthe Office and request a referral.*

Version: **date approved**

## **8. Improvements Needing Permission - April 2025.pd.pdf**



## Nepenthe Home Improvements Needing Association Permission

Newcomers, welcome! Nepenthe is glad you are here. This document is to give you some idea of the architectural improvements to your home that will require permission of the Association.

Because the Nepenthe Association is charged with maintaining the roof, gutters and downspouts, siding, and fences, permission from the Association is needed before modifying any of these structures. Such improvements would include anything that would penetrate the roof or the siding or be installed on top of the siding.

The following improvements require approval either from the Nepenthe Office or from the Board of Directors. There may also be other types of improvements not listed here that require formal approval. Before making any improvements to your home please consult the **Rules for Home Improvements** document, available at the Association's website at [www.NepentheHOA.com](http://www.NepentheHOA.com), or on paper from the Office, or via email from the Office.

Accessory Dwelling Units and Junior Accessory Dwelling Units  
Air Conditioner, Furnace and Heat Pump  
Antenna or Satellite Dish  
Attic Ventilation and Exhaust Fans  
Awnings and Shade Sails  
Burglar or Security System, and Alarm Bell Boxes  
Cable TV or Internet service - Office can provide an authorization letter for your installer  
Chimney Caps  
Exterior Security Lighting Fixtures  
Exterior Window—Sunscreens  
Exterior Window—Security, including bars  
Flag Installation  
Floral and Overhead Trellis (Patio Cover)  
Front Door and Front Screen Door  
Garage Exterior Person Door - New or Replacement  
Garage Door-Vehicle, Sectional Roll-Up  
Gas Line and Meter  
Gutters and Downspouts  
Handrails  
Mailbox  
Mail Slot, Use and Replacement  
Microwave oven, hardwired in kitchen  
Patio Hardscape, Maintenance and Improvements  
Patio Pool  
Patio Structures: Shed or Outbuilding, or Free-Standing Structure and Garden Decor  
Security Cameras  
Skylights and Solar tubes  
Solar Energy Roof Panels  
Windows – Replacement and creation of New Window  
Wiring and Pipe Installations – Exterior or Exposed

Rev: **date approved**